



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission

From: Tracy Tran; 801-535-7645

Date: July 13, 2016

Re: PLNSUB2016-00041 and PLNSUB2016-00043 - Tag Townhomes 800 East Planned Development and Preliminary Subdivision

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## PLANNED DEVELOPMENT PRELIMINARY SUBDIVISION

**PROPERTY ADDRESS:** 49 South and 51 South 800 East  
**PARCEL ID:** 16-05-126-023 and 16-05-126-024  
**MASTER PLAN:** Central Community  
**ZONING DISTRICT:** RMF-30 (Low Density Multi-Family Residential)

**REQUEST:** Approval of the proposed planned development for three (3) townhome units. The applicant is requesting to demolish the existing single family home on 51 S 800 E and build three new townhomes on the existing two parcels (49 S and 51S 800 E). The proposal seeks a reduction in lot width and approval to allow for 2 units without frontage on a public street. The Planning Commission has final decision making authority for planned development applications.

**RECOMMENDATION:** Based on the findings listed in the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Planning Commission approve the Planned Development request with conditions.

### Staff recommends the following motion:

Based on the information in the staff report, public testimony, and discussion by the Planning Commission, I move that the Planning Commission approve petition PLNSUB2016-00041 and -00043, regarding the Tag Townhomes on 800 East planned development. In order to comply with the applicable standards, the following conditions of approval apply:

1. The applicant shall comply with all other Department/Division conditions attached to this staff report.
2. All other applicable zoning standards not modified by the Planned Development approval shall apply to the development.
3. Final approval authority for the development shall be delegated to Planning staff based on the applicant's compliance with the standards and conditions of approval as noted within this staff report.
4. The applicant shall obtain the required demolition permits for the existing buildings.

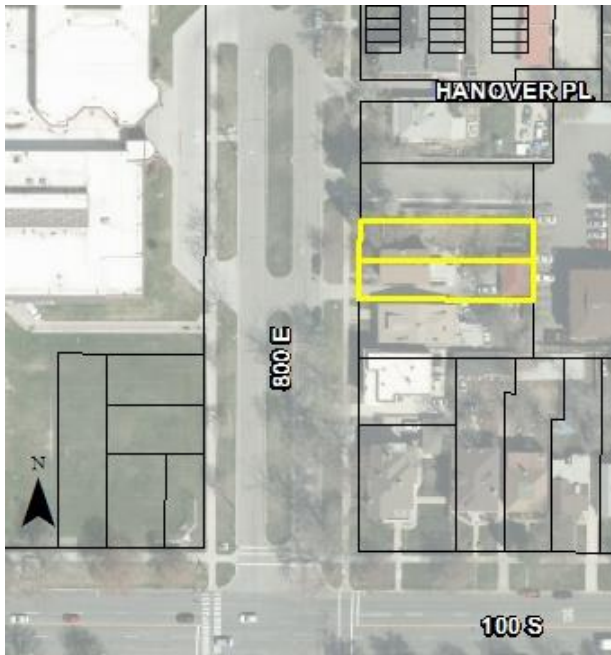
## ATTACHMENTS:

- A. Vicinity Map
- B. Photos
- C. Site Drawings and Building Elevations
- D. Previous Versions - Building Elevations
- E. Applicant Project Description
- F. Existing Conditions
- G. Analysis of Standards
- H. Public Process and Comments
- I. Dept. Comments
- J. Motions

## PROJECT DESCRIPTION:

### 1. Proposal Details

The project involves two existing adjacent properties, one has an existing single family residence and detached accessory structure (51 S 800 E) and the other property is vacant land (49 S 800 E). The applicant proposes to combine the properties, demolish the existing dwelling and accessory structure, and build a three story residential townhome building with 3 total units. Each townhome is proposed to be on its own lot, the applicant has also submitted a preliminary minor subdivision application as a part of this project. The subject properties are located within the Bryant National Historic District, but are not within a local historic district.



The applicant submitted an application for a planned development seeking a reduction in the required lot width, and a modification to allow for 2 units without frontage along 800 East. If approved as proposed, the lot width would be reduced from 80 feet to 67 feet, and two of the three units will be allowed to not have frontage along 800 East. The existing lot width of the two parcels is 67'. The required lot width for a multi-family building is 80'. Allowing for this modification would allow for a 3 dwelling residential product on these parcels. Without this modification, the applicant could only develop up to 2 dwelling units on these parcels. The two parcels combined have 9,953 sq ft.

The proposed project will result in 3 townhomes each having a footprint of approximately 1,300 square feet. Each townhome will have approximately 3,000 square feet of living space, with 2 of the townhomes having 2-car garages, and one having a 3-car garage. The driveway for the project also contains an access easement for the existing single family home located immediately south of the subject properties.

The subject properties are adjacent to a single family home to the south, a driveway access to an apartment building to the north, and an apartment building to the east.

An open house was held on February 18, 2016. A couple concerns were brought up regarding the compatibility of the building with the rest of the historic neighborhood.

### **KEY ISSUES:**

The key issues associated with this proposal include the planned development objectives and the compatibility of the proposal. These are further explained below and were identified through the analysis of the project and public comments.

#### **Issue 1: Planned Development Objectives**

The applicant has made changes to the drawings since his initial submission to better meet the planned development objectives. The applicant has submitted various design iterations (Attachment D) of his proposed development before going forward with this current design (Attachment C). The applicant has incorporated many design elements since the initial submission.

Planned Developments are requested in order to modify certain zoning standards that normally apply to developments. The purpose of the Planned Development process is to achieve a “more enhanced product than would be achievable through strict application of the land use regulations.” In addition, through the Planned Development process the City seeks to achieve a number of other objectives, such as preservation of significant buildings, green development, and coordination of buildings in a development. The full list of objectives is located in Attachment G. A proposed Planned Development only needs to meet at least one of these objectives. As proposed, the development is generally meeting at least two of the applicable objectives. These include the following objectives:

- A. Combination and coordination of architectural styles, building forms, building materials, and building relationships;
- D. Use of design, landscape, or architectural features to create a pleasing environment

The proposed development incorporates a contemporary design that incorporates features and forms from the neighborhood. The majority of the building uses brick as the primary building material with corrugated metal as the secondary building material. Although a contemporary design, the proposal borrows elements from buildings around the neighborhood by using the common building material of brick, incorporating a double porch front façade feature and balconies throughout the building, and adding design details. The rectangular building is further enhanced with the addition of porches, balconies, and design details that help to break up the massing of the building. Overall, the higher quality design meets the objectives of a planned development and is a “more enhanced product than would be achievable through strict application of the land use regulations.”

#### **Issue 2: Compatibility with the neighborhood**

The neighborhood contains a mix of both single and multi-family buildings. The addition of these townhomes is compatible with the other housing types in the neighborhood.

Comments received back from the initial review and the open house included compatibility issues with the rest of the neighborhood and issues with the design of the building, particularly the front façade of the building. The original proposal that was submitted generally lacked architectural features and visual interest.

The applicant has made changes to the front façade to include a more defined entry way by including a concrete stoop with the address letters. Additionally, the building design includes a two-story porch feature to the front façade, and additional detailing, which include a cornice and variation in the brick. Staff finds that the contemporary design with the inclusion of many features found in the neighborhood is compatible with the neighborhood.

#### **DISCUSSION:**

Staff agrees that the revised lot width and allowing two units without frontage result in a project that is still compatible with surrounding properties and achieves the objectives of a planned development through a well-designed project.

The remaining city departments had no items or objections that couldn't be addressed or resolved during a construction permit review.

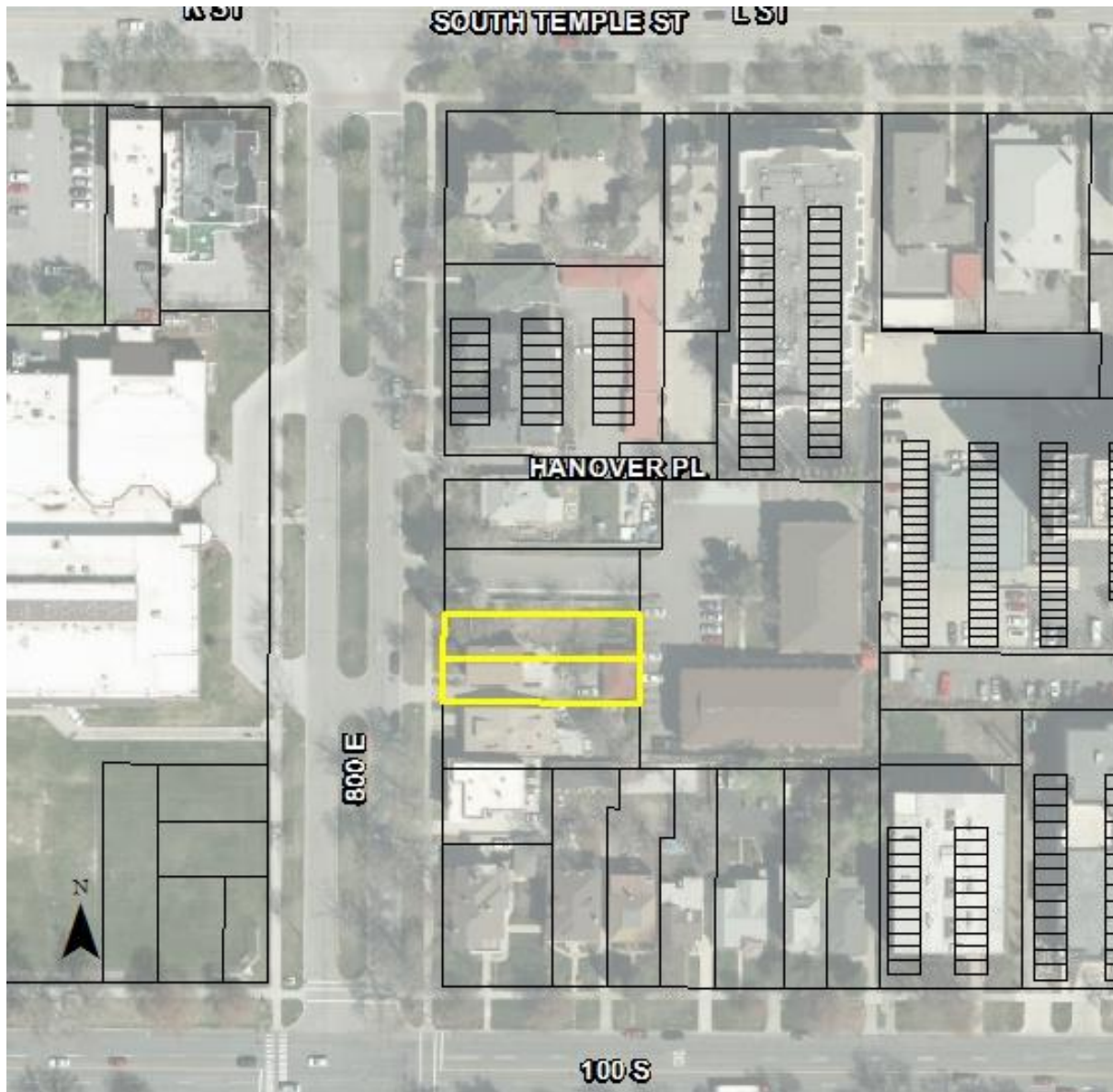
#### **NEXT STEPS:**

If approved, the applicant may proceed with the project and will be required to obtain all necessary permits. If denied the applicant would still be able to construct a building but it would be subject to the RMF-30 zoning standards.



## ATTACHMENT A: Vicinity Map

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## ATTACHMENT B: Photos

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View looking east - Subject house property and vacant property to the left.



Driveway to apartment complex located immediately north of subject properties





Property located immediately south of subject properties. Driveway to the left is shared



Subject properties to the left and neighboring building to the south





View from across the street looking southeast – 800 E block face



Single family home located north of the apartment building drive





View looking northeast – apartments located along 800 E block face



Building along 800 E block face – north of subject properties





800 E block face – south of subject properties



Multifamily building along 800 E



## **ATTACHMENT C: Site Drawings and Building Elevations**















Project

## 800 E TOWNHOMES

800 E  
SALT LAKE CITY, UT

Owner



## Consultants

Consultant	Consultant
Address	Address
Address	Address
Phone	Phone
Fax	Fax
e-mail	e-mail
Consultant	Consultant
Address	Address
Address	Address
Phone	Phone
Fax	Fax
e-mail	e-mail

## Revision

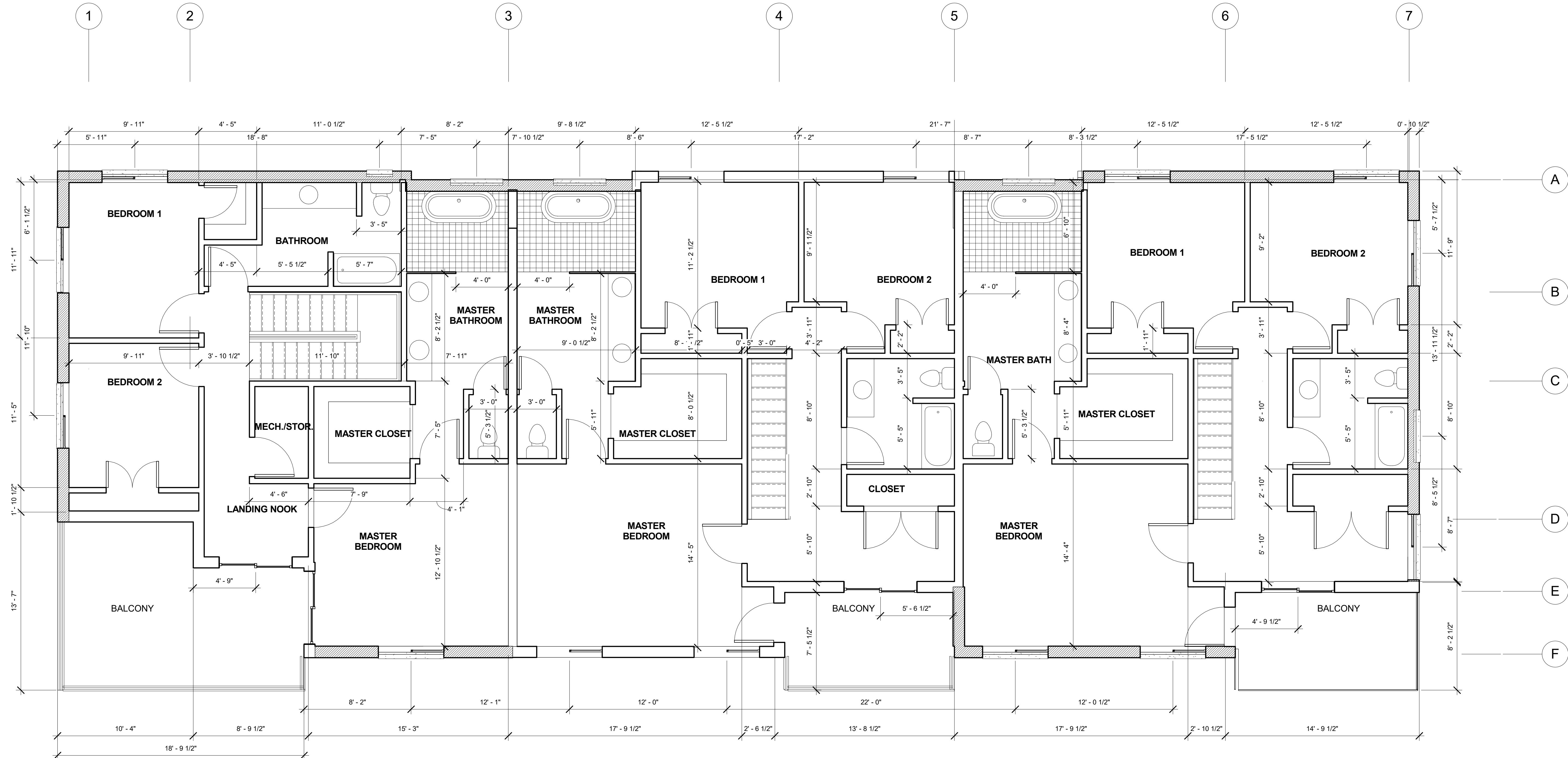
[illegible]

## UPPER FLOOR DIMENSION PLAN

Project number	43.1245.129.6
Date	6 JULY 2016
Drawn by	Author
Checked by	Checker

A106

Scale	1/4" = 1'-0"
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**LEVEL 3 DIMENSION  
FLOOR PLAN**

1  
1/4" = 1'-0"





# TAG 800

51 SOUTH 800 EAST  
SALT LAKE CITY, UTAH

## INDEX OF DRAWINGS

1-1	BOUNDARY SURVEY
1-1	SUBDIVISION PLAT
C-001	GENERAL NOTES
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-300	GRADING AND DRAINAGE PLAN
C-400	UTILITY PLAN
C-500	EROSION CONTROL PLAN
C-600	DETAILS
L-100	LANDSCAPE PLANS
L-200	LANDSCAPE AND IRRIGATION DETAILS
A-201	NORTH AND SOUTH ELEVATIONS
A-202	EAST AND WEST ELEVATIONS

FOR REVIEW  
NOT FOR CONSTRUCTION

DATE PRINTED  
June 21, 2016

TAG 800  
FOR REVIEW - JUNE 20, 2016

### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

### DEVELOPER:

THE ATKIN GROUP  
6995 SOUTH UNION PARK CENTER, SUITE 390  
MIDVALE, UTAH 84047

JORDON ATKIN  
801-505-8105

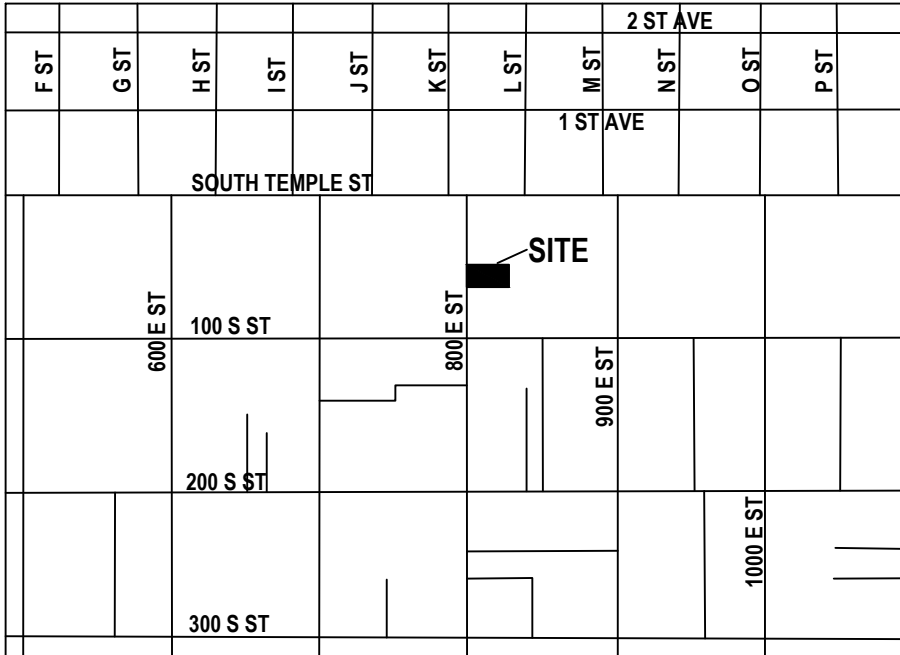
### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

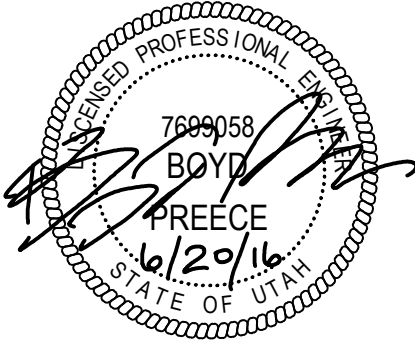
### VICINITY MAP



### GENERAL NOTES

- ALL WORK SHALL CONFORM TO SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = CENTERLINE MONUMENT AT THE INTERSECTION OF 100 SOUTH STREET AND 800 EAST STREET (FOUND 2.5" BRASS CAP). ELEV. = 4396.00 (NAVD29).

### ENGINEER:



SALT LAKE CITY  
45 W. 10000 S., Suite 500  
Smoky, UT, 84070  
Phone: 801.255.0529  
Fax: 801.255.4449  
WWW.ENSIGNENG.COM

LAYTON  
Phone: 801.547.1150  
TUCUEN  
Phone: 435.843.3590  
CEDAR CITY  
Phone: 435.843.1853  
RICHFIELD  
Phone: 435.580.0182  
COLORADO SPRINGS  
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Phone: 435.590.0187

WWW.ENSIGNUTAH.COM

FOR:  
JORDON ATKIN  
CLIENT'S ADDRESS  
CLIENT CITY STATE ZIP

CONTACT:  
JORDON ATKIN  
PHONE: 801-505-8105  
FAX:

# TAG 800 EAST LOT CONSOLIDATION BOUNDARY & TOPOGRAPHY SURVEY

51 SOUTH 800 EAST  
SALT LAKE CITY, UTAH

## BOUNDARY & TOPOGRAPHY SURVEY

PROJECT NUMBER  
6714  
DRAWN BY  
B. HANEL  
PROJECT MANAGER  
P. HARRIS

1-1

Date Published: July 7, 2016

### SURVEYOR'S NARRATIVE

I, Patrick M. Harris do hereby state that I am a Registered Professional Land Surveyor and that I hold certificate no. 268882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a Boundary and Topographic survey for use by the client. The Basis of Bearing is a line between the Monument found at the intersection of South Temple Street and 800 East Street and the Monument found at the intersection of 100 South Street and 800 East Street, Section 5, Township 1 South, Range 1 East, Salt Lake Base and Meridian, measuring South 0°00'50" West 791.39 feet.

### PROPERTY DESCRIPTION

PARCEL 16-05-126-023

Commencing at a point 48-1/2 feet South from the Northwest Corner of Lot 3, Block 58, Plat "B", Salt Lake City Survey, and running thence East 9 rods, thence South 34 feet, thence West 9 rods, thence North 34 feet to the place of beginning.

PARCEL CONTAINS 5,052 square feet 0.12 acres

PARCEL 16-05-126-024

Commencing at a point 3 rods North of the Southwest Corner of Lot 3, Block 58, Plat "B", Salt Lake City Survey, and running thence North 2 rods, thence East 9 rods, thence South 2 rods, thence West 9 rods, to the place of beginning.

PARCEL CONTAINS 4,901 square feet 0.11 acres

### CONSOLIDATION PARCEL

Commencing at a point South 0°00'53" East 48.52 feet from the Northwest Corner of Lot 3, Block 58 Plat "B" Salt Lake City Survey, said point of beginning also being South 0°00'50" East 446.20 feet along the Monument line of 800 East Street and North 89°59'23" East 68.36 feet from the Street Monument at the Intersection of South Temple Street and 800 East Street, and running:

thence North 89°59'02" East 148.53 feet;  
thence South 0°00'53" East 67.01 feet;  
thence South 89°59'02" West 148.53 feet to the East line of 800 East Street;  
thence North 0°00'53" West 67.01 feet along the East line of 800 East Street to the point of beginning.

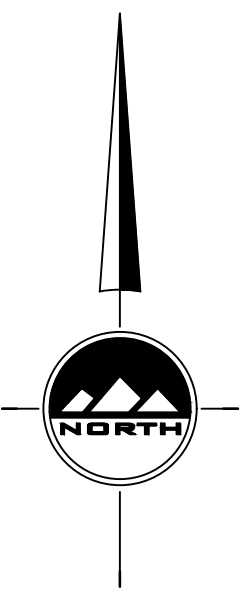
PARCEL CONTAINS 9,953 square feet 0.23 acres

Date

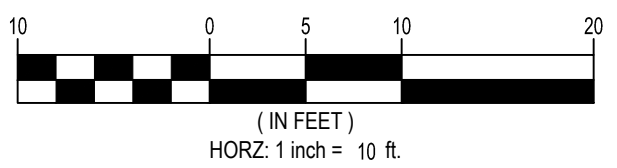
Patrick M. Harris  
License No. 268882

### LEGEND

	SECTION CORNER		MINOR CONTOURS 1' INCREMENT
	MONUMENT		MAJOR CONTOURS 5' INCREMENT
	SET NAIL & WASHER		CONCRETE
	SET ENSIGN REBAR AND CAP		ADJACENT RIGHT OF WAY
	WATER METER		RIGHT OF WAY
	WATER MANHOLE		SECTION LINE
	WATER VALVE		PROPERTY LINE
	FIRE HYDRANT		ADJACENT PROPERTY LINE
	IRRIGATION VALVE		DEED LINE
	SANITARY SEWER MANHOLE		TANGENT LINE
	STORM DRAIN CLEAN OUT		FENCE
	STORM DRAIN CATCH BASIN		EDGE OF ASPHALT
	STORM DRAIN COMBO BOX		SANITARY SEWER
	SIGN		STORM DRAIN LINE
	UTILITY MANHOLE		WATER LINE
	UTILITY POLE		IRRIGATION LINE
	GAS METER		TELEPHONE LINE
	GAS LINE		OVERHEAD POWER

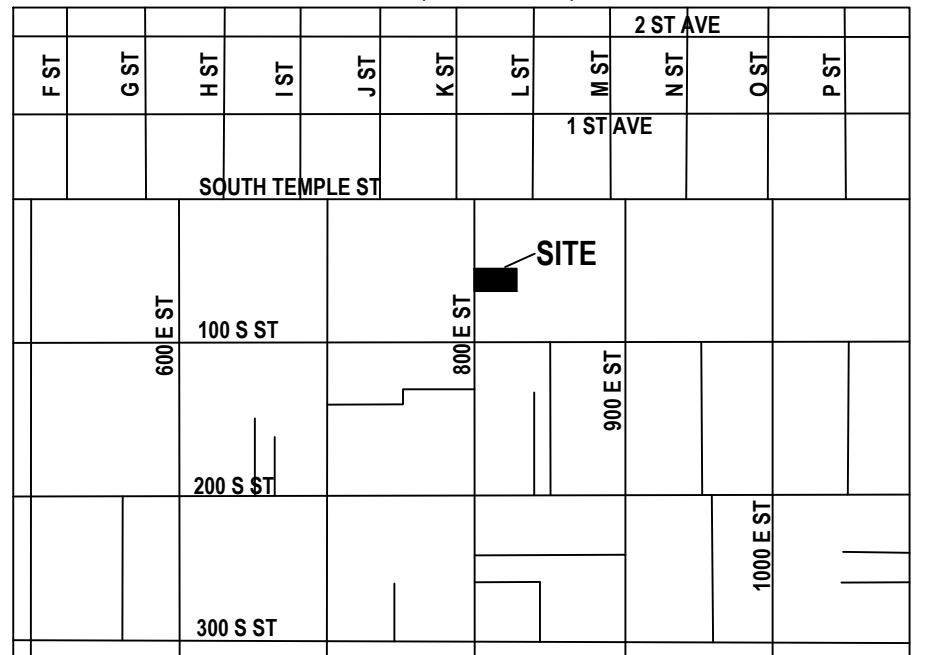


### HORIZONTAL GRAPHIC SCALE



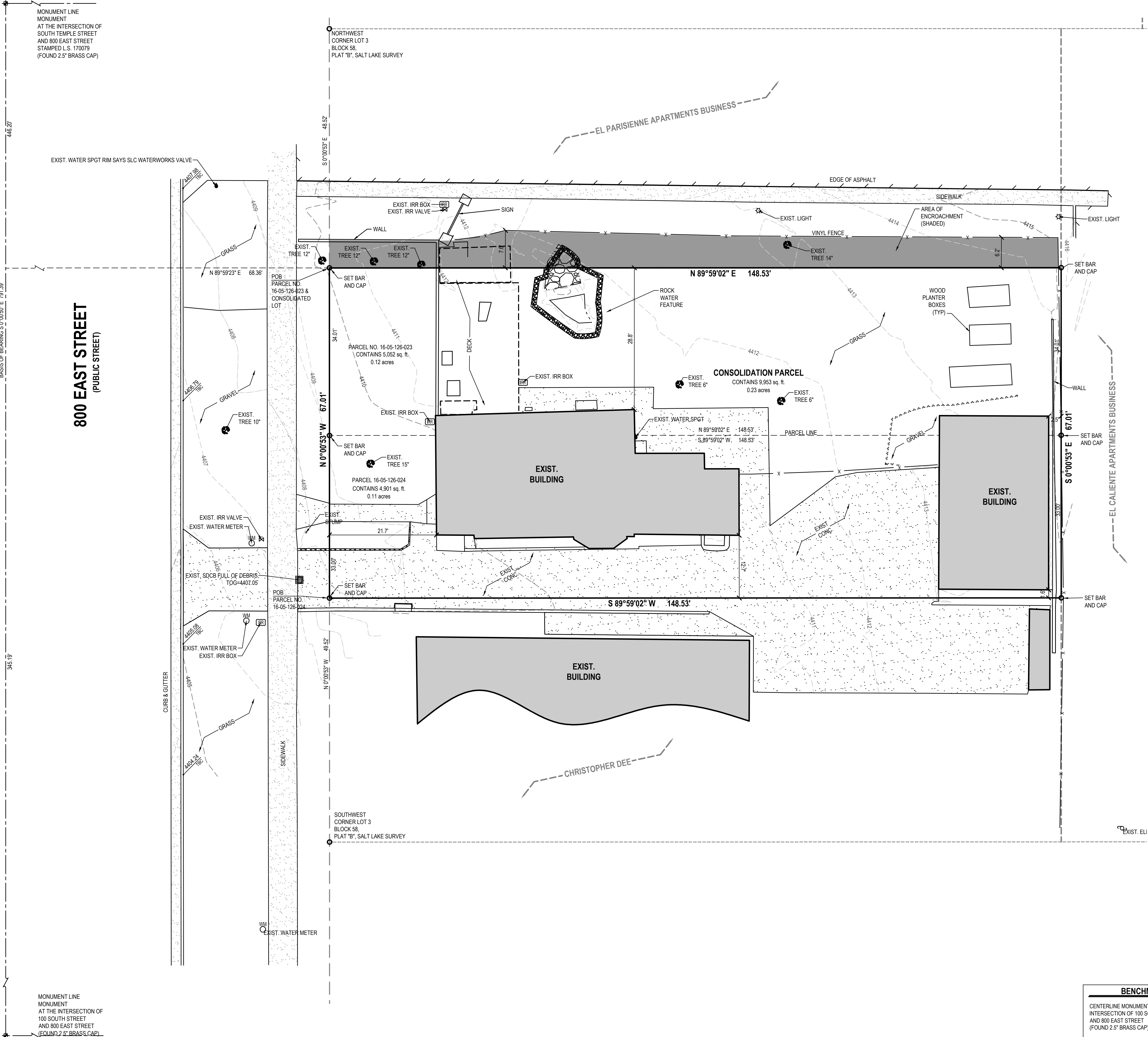
LOCATED IN THE NORTHWEST CORNER  
OF SECTION 5  
TOWNSHIP 1 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
SALT LAKE CITY, SALT LAKE COUNTY, UTAH

### VICINITY MAP (NOT TO SCALE)



### BENCHMARK

CENTERLINE MONUMENT AT THE  
INTERSECTION OF 100 SOUTH STREET  
AND 800 EAST STREET  
(FOUND 2.5" BRASS CAP)  
ELEVATION = 4396.00  
NAVD29







SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES

1. **COMPLIANCE:**  
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.

2. **COORDINATION:**  
THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT.

PUBLIC UTILITIES:  
BACKFLOW PREVENTION - 483-6795  
DEVELOPMENT REVIEW ENGINEERING - 483-6781  
INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS - 483-6727  
PRETREATMENT - 799-4002  
STORM WATER - 483-6751

SLC DEPARTMENTS:  
ENGINEERING - PUBLIC WAY PERMITS AND ISSUES - 535-6248  
ENGINEERING - SUBDIVISIONS - 535-6159  
FIRE DEPARTMENT - 535-6636  
PERMITS AND LICENSING (BLDG SERVICES) - 535-7752  
PLANNING AND ZONING - 535-7700  
TRANSPORTATION - 535-6630

- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES  
- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS  
- APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS  
- BLUESTAKES LOCATING SERVICES - 532-5000  
- COUNTY FIRE DEPARTMENT - 743-7231  
- COUNTY FLOOD CONTROL - 489-2779  
- COUNTY HEALTH DEPARTMENT - 385-468-3913  
- COUNTY PUBLIC WAY PERMITS - 468-2241  
- HOLLADAY CITY - 272-9450  
- SALT LAKE COUNTY HIGHWAY DEPARTMENT - 468-3705 OR 468-2156  
- THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING SERVICE - 262-5626  
- UNION PACIFIC RAILROAD CO., SUPERINTENDENTS OFFICE - 595-3405  
- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 - 975-4800  
- UTAH STATE ENGINEER - 538-7240

3. **SCHEDULE**  
PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

4. **PERMITS, FEES AND AGREEMENTS**  
CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6923). A COPY OF THE PERMIT'S STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

5. **ASPHALT AND SOIL TESTING**  
THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 330520 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATION MATERIALS ARE USED. **NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE.** THE MAXIMUM LIFTS FOR BACKFILL EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

6. **TRAFFIC CONTROL AND HAUL ROUTES**  
TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL - PART 6 OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

7. **SURVEY CONTROL**  
CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROPRIATE. STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE COUNTY SURVEYOR (468-2028) FOR MONUMENT LOCATIONS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

8. **ASPHALT GUARANTEE**  
THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.

9. **TEMPORARY ASPHALT**  
IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL. WITHIN SALT LAKE CITY, WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

10. **SAFETY**  
THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

11. **DUST CONTROL**  
THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

12. **DEWATERING**  
ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.

13. **PROJECT LIMITS**  
THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

14. **WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES**  
**A. INSPECTIONS -**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

**B. DAMAGE TO EXISTING UTILITIES -**  
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

**C. UTILITY LOCATIONS -**  
CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLES A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES' MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

**D. UTILITY RELOCATIONS -**  
FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2-WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.

**E. FIELD CHANGES -**  
NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

**F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY -**  
FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO THE RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

**G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -**  
THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

**H. WATER AND SEWER SEPARATION -**  
IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

**I. SALVAGE -**  
ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

**J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS -**  
SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILITIES (483-6762) AND CONNECTED AT A MANHOLE. **INSIDE DROPS IN MANHOLES ARE NOT ALLOWED.** A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND SALT LAKE CITY PUBLIC UTILITY REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UNI-BELL UN-8-6-98 RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM OF 9-FEET OF HEAD PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE 1 ON PAGE 12 OF UNI-8-6-98. ALL PIPES SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.

**K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -**  
SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM1 GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER/SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, C200, C900, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C600 SECTION 4.1.1; DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.

CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND/OR ASSEMBLIES AND METER BOXES WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. METER BOXES ARE TO BE PLACED IN THE PARK STRIPS PERPENDICULAR TO THE WATERMAIN SERVICE TAP CONNECTION. ALL WATER METERS, CATCH BASINS, CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION DEVICES MUST BE LOCATED OUTSIDE OF ALL APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS AND OTHER TRAVELED WAYS UNLESS OTHERWISE APPROVED ON PLANS.

BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION DEVICES ON FIRE SPRINKLER CONNECTIONS. DOUBLE CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON CLASS 1, 2 AND 3 SYSTEMS. REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES' CONTRACTS AND AGREEMENTS OFFICE.

**L. GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS -**  
ALL WATER, FIRE AND SEWER SERVICES SUBMITTED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT PROPERTY LINE PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE REQUIREMENTS TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES, 'UTILITY INSTALLATION DETAIL.'

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CLEAN OUT	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FI	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HANDICAP	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIP	PLASTIC IRRIGATION PIPE
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
SWL	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
WL	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		EXISTING FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		EXISTING STORM DRAIN LINE
	PROPOSED WATER VALVE		PROPOSED STORM DRAIN LINE
	EXISTING FIRE HYDRANT		ROOF DRAIN LINE
	PROPOSED FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE DEPARTMENT CONNECTION		HIGHWATER LINE
	EXISTING SECONDARY WATER VALVE		EXISTING SANITARY SEWER
	PROPOSED SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	EXISTING IRRIGATION BOX		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION VALVE		EXISTING LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED LAND DRAIN SERVICE LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		EXISTING CULINARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED CULINARY WATER LINE
	EXISTING STORM DRAIN CATCH BASIN		PROPOSED CULINARY WATER SERVICE LINE
	PROPOSED STORM DRAIN CATCH BASIN		EXISTING SECONDARY WATER LINE
	EXISTING STORM DRAIN COMBO BOX		PROPOSED SECONDARY WATER LINE
	PROPOSED STORM DRAIN COMBO BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CULVERT		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CULVERT		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN SAG INLET PROTECTION		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN SAG INLET PROTECTION		EXISTING ELECTRICAL LINE
	EXISTING ROOF DRAIN		EXISTING GAS LINE
	PROPOSED ROOF DRAIN		EXISTING TELEPHONE LINE
	EXISTING ELECTRICAL MANHOLE		ACCESSIBLE ROUTE
	PROPOSED ELECTRICAL MANHOLE		SAW CUT LINE
	EXISTING ELECTRICAL BOX		STRAW WATTLE
	PROPOSED ELECTRICAL BOX		TEMPORARY BERM
	EXISTING TRANSFORMER		TEMPORARY SILT FENCE
	PROPOSED TRANSFORMER		LIMITS OF DISTURBANCE
	EXISTING UTILITY POLE		EXISTING WALL
	PROPOSED UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	PROPOSED GAS VALVE		PROPOSED ASPHALT
	EXISTING TELEPHONE MANHOLE		EXISTING CURB AND GUTTER
	PROPOSED TELEPHONE MANHOLE		PROPOSED CURB AND GUTTER
	EXISTING TELEPHONE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	PROPOSED TELEPHONE BOX		TRANSITION TO REVERSE PAN CURB
	EXISTING CABLE BOX		CONCRETE TO BE REMOVED
	PROPOSED CABLE BOX		EXISTING CONCRETE
	EXISTING BOLLARD		PROPOSED CONCRETE
	PROPOSED BOLLARD		BUILDING TO BE REMOVED
	EXISTING SIGN		EXISTING BUILDING
	PROPOSED SIGN		PROPOSED BUILDING
	EXISTING SPOT ELEVATION		
	PROPOSED SPOT ELEVATION		
	EXISTING FLOW DIRECTION		
	PROPOSED FLOW DIRECTION		
	EXISTING TREE		
	PROPOSED TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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TAG 800  
51 SOUTH 800 EAST  
SALT LAKE CITY, UTAH



GENERAL NOTES

PROJECT NUMBER  
6714  
DRAWN BY  
D. COWLEY  
PROJECT MANAGER  
B. PREECE  
PRINT DATE  
6/21/16  
CHECKED BY  
B. PREECE

C-001



Know what's below.  
Call before you dig.

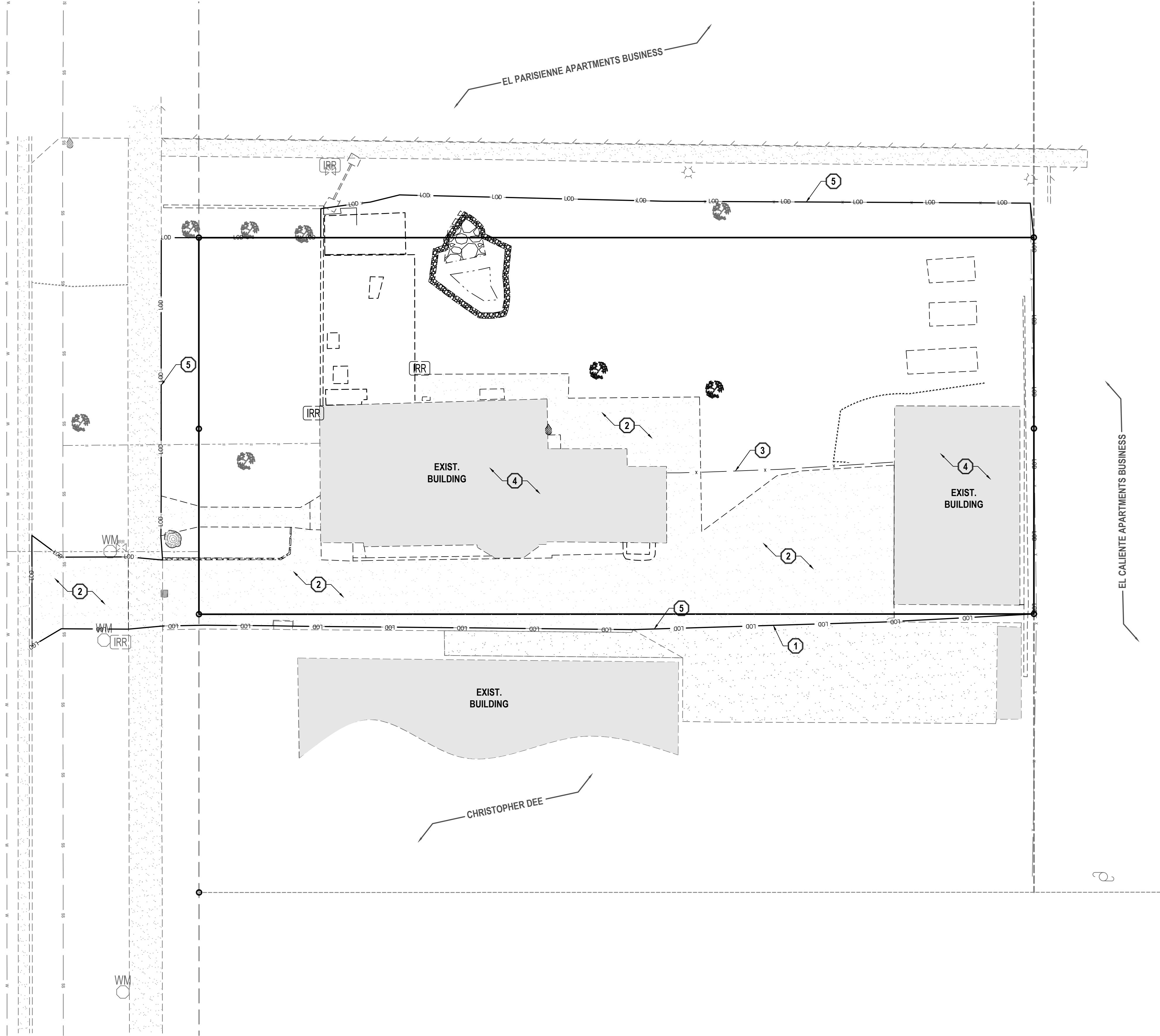
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**

CENTERLINE MONUMENT AT THE  
INTERSECTION OF 100 SOUTH STREET  
AND 800 EAST STREET  
(FOUND 2.5" BRASS CAP)

ELEVATION = 4396.00  
NAVD29

800 EAST STREET  
(PUBLIC STREET)



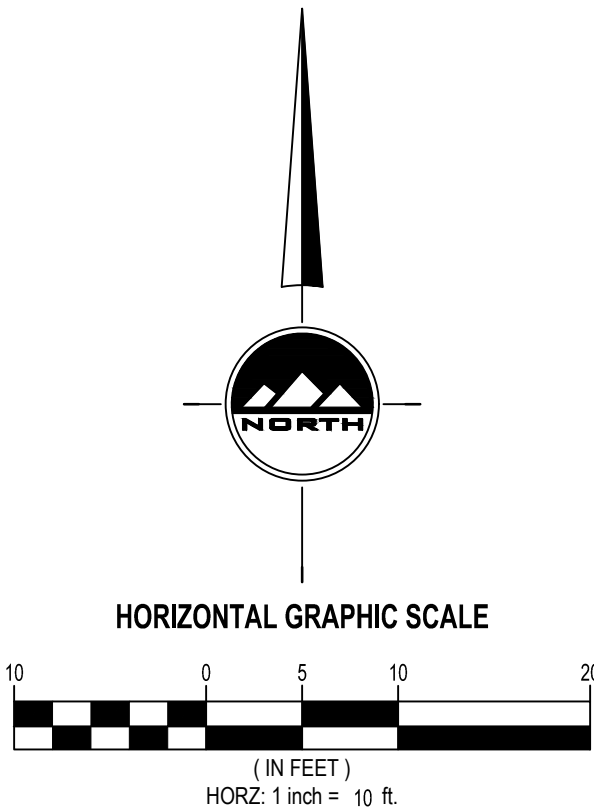
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- SAWCUT EXISTING CONCRETE PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED CONCRETE PAVEMENT.
- REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE PAVEMENT.
- REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
- REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- LIMIT OF DISTURBANCE.
- PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).



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SALT LAKE CITY, UTAH



DEMOLITION PLAN

PROJECT NUMBER  
6714

PRINT DATE  
6/21/16


DRAWN BY  
D. COWLEY

CHECKED BY  
B. PREECE

PROJECT MANAGER  
B. PREECE

C-100

Date Published: July 7, 2016



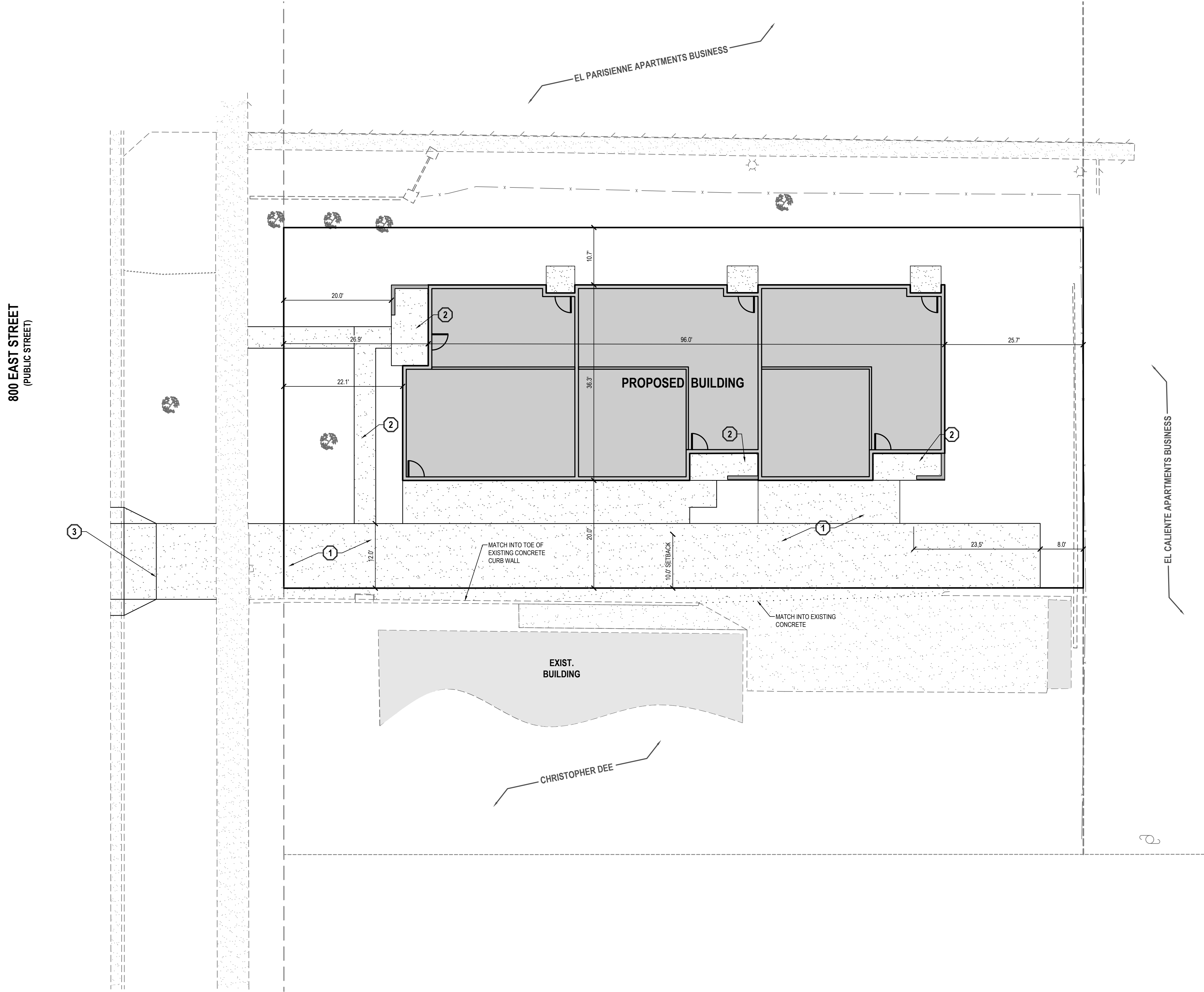
Know what's below.  
Call before you dig.

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@ 811 AT LEAST 48 HOURS  
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BENCHMARK

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INTERSECTION OF 100 SOUTH STREET  
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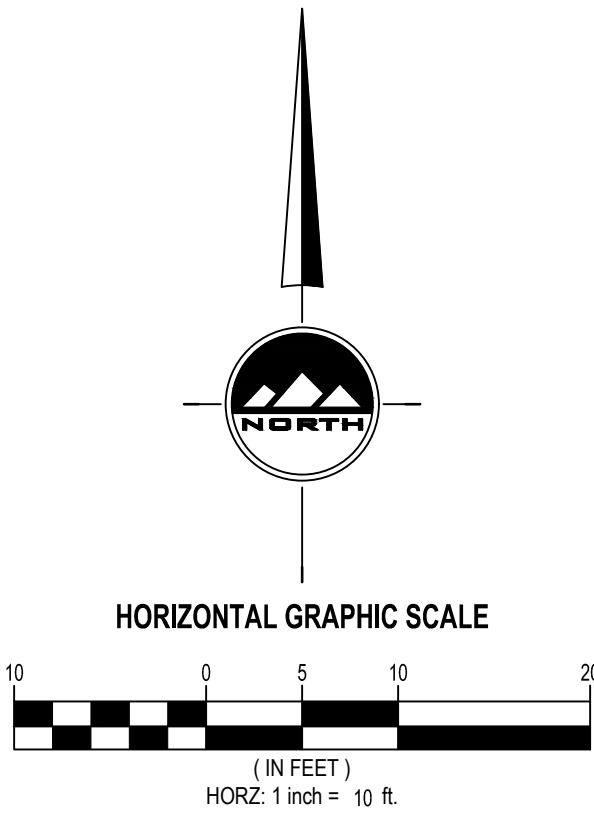
ELEVATION = 4396.00  
NAVD82



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
  - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
  - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
  - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**  
PROVIDE: INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 CONCRETE PAVEMENT: 6" THICK CONCRETE WITH 6" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 1/C-800.
  - 2 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
  - 3 DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 221 AND SPECIFICATIONS.

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	2,877	28.9%
BLDG. FOOTPRINT	3,432	34.5%
LANDSCAPING	3,644	36.6%
TOTAL SITE	9,953	100%
	0.228 ACRES	





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FOR:  
THE ATKIN GROUP  
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MIDVALE, UTAH 84047

CONTACT:  
JORDON ATKIN  
PHONE: 801-505-8105

TAG 800

51 SOUTH 800 EAST

SALT LAKE CITY, UTAH



SITE PLAN

PROJECT NUMBER  
6714

PRINT DATE  
6/21/16


DRAWN BY  
D. COWLEY

CHECKED BY  
B. PREECE

PROJECT MANAGER  
B. PREECE

C-200





Know what's below.  
Call before you dig.

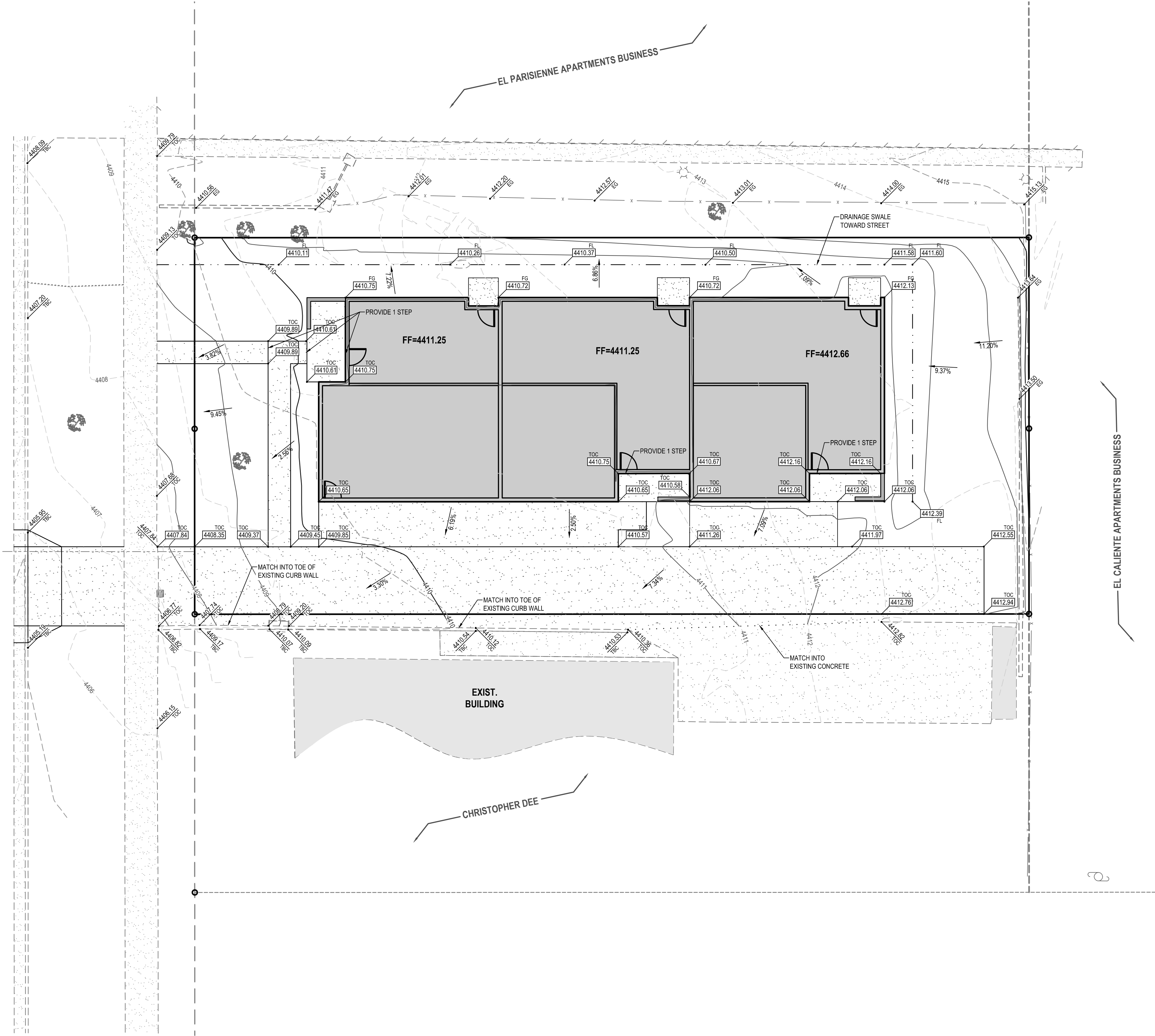
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@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

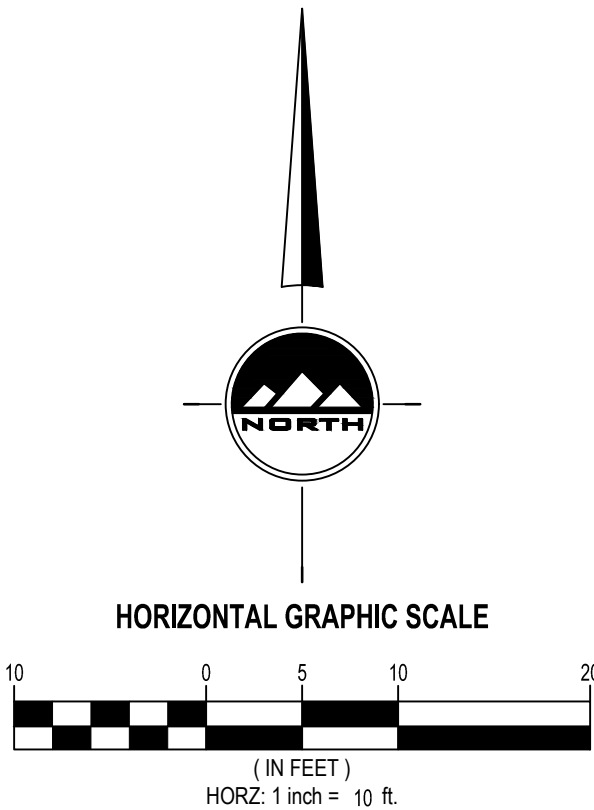
CENTERLINE MONUMENT AT THE  
INTERSECTION OF 100 SOUTH STREET  
AND 800 EAST STREET  
(FOUND 2.5" BRASS CAP)


ELEVATION = 4396.00  
NAVD29

800 EAST STREET  
(PUBLIC STREET)



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  - ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
  - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
  - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  - SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
  - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  - ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
  - ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE MECHANICAL/PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
  - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.





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PHONE: 801-505-8105

TAG 800

51 SOUTH 800 EAST  
SALT LAKE CITY, UTAH



GRADING AND  
DRAINAGE PLAN

PROJECT NUMBER  
6714

PRINT DATE  
6/21/16

DRAWN BY  
D. COWLEY

CHECKED BY  
B. PREECE

PROJECT MANAGER  
B. PREECE

C-300

Date Published: July 7, 2016

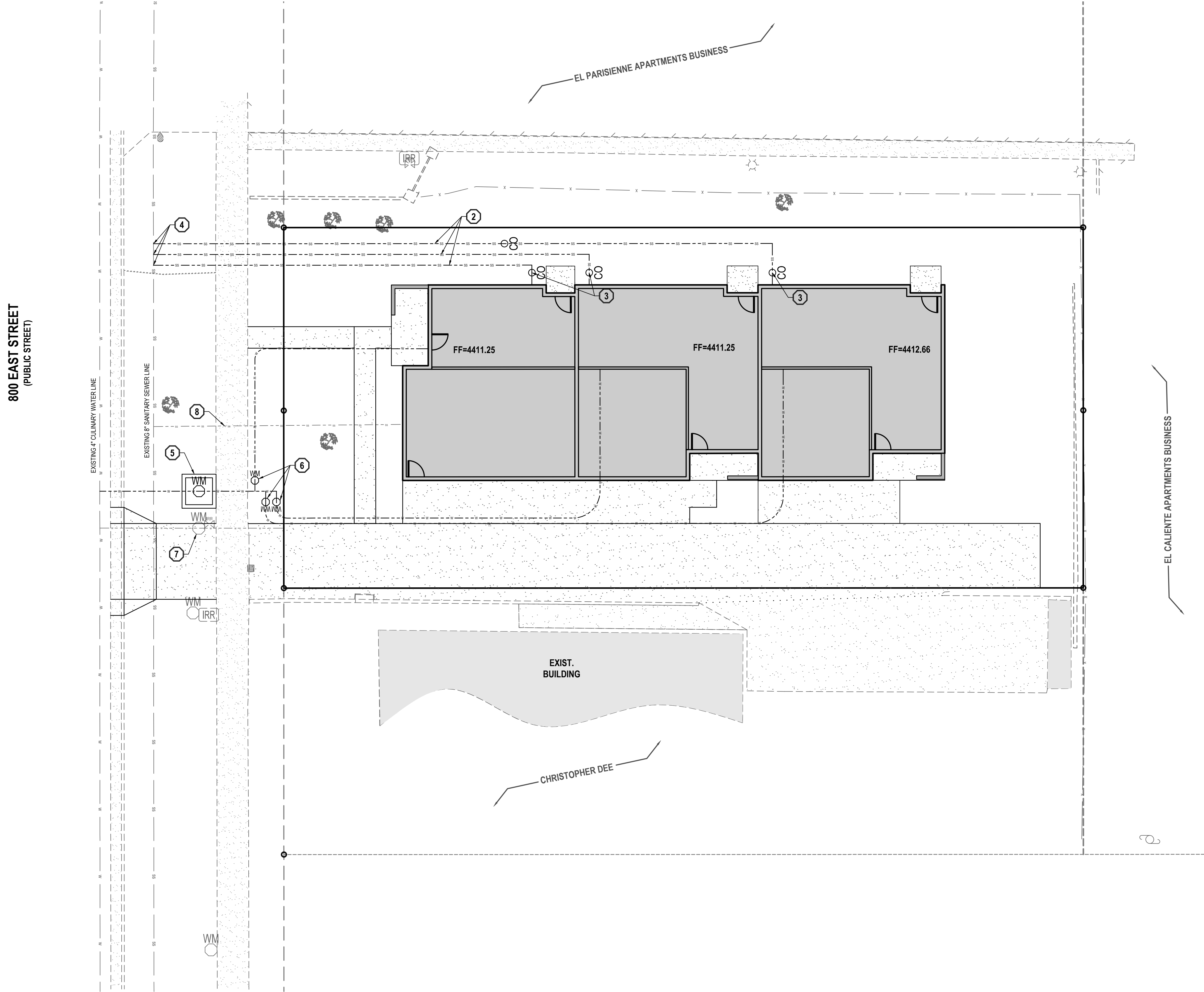
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BENCHMARK

CENTERLINE MONUMENT AT THE  
INTERSECTION OF 100 SOUTH STREET  
AND 800 EAST STREET  
(FOUND 2.5" BRASS CAP)  
ELEVATION = 4396.00  
NAVD29



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  - ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
  - ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  - DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
  - THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
  - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- NOT USED
  - 4" SDR-35 PVC SANITARY SEWER LATERAL @ 2.0% MINIMUM SLOPE PER CITY STANDARDS.
  - SANITARY SEWER CLEANOUT PER CITY STANDARDS AND SPECIFICATIONS.
  - CONNECT TO EXISTING SEWER LINE PER CITY STANDARDS. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF SEWER BEFORE CONSTRUCTION.
  - 1-1/2" CULINARY WATER METER AND SERVICE PER APWA STANDARD PLAN NO. 522 AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 505 AND SPECIFICATIONS.
  - PRIVATE 3/4" METER AND SERVICE PER APWA STANDARD PLAN NO. 521 AND SPECIFICATIONS.
  - EXISTING WATER METER AND SERVICE TO BE ABANDONED PER CITY STANDARDS.
  - EXISTING SEWER LATERAL SERVICE TO BE ABANDONED PER CITY STANDARDS.

EN SIGN

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TAG 800

51 SOUTH 800 EAST  
SALT LAKE CITY, UTAH

PROFESSIONAL  
ENGINEER  
7689058  
BOYD  
PREECE  
16/20/16  
STATE OF UTAH

2016-06-20 SUBMITTAL

UTILITY PLAN

PROJECT NUMBER  
6714

PRINT DATE  
6/21/16

DRAWN BY  
D. COWLEY

CHECKED BY  
B. PREECE


PROJECT MANAGER  
B. PREECE

C-400

Date Published: July 7, 2016

PLNSUB2016-00041 & 00043

24



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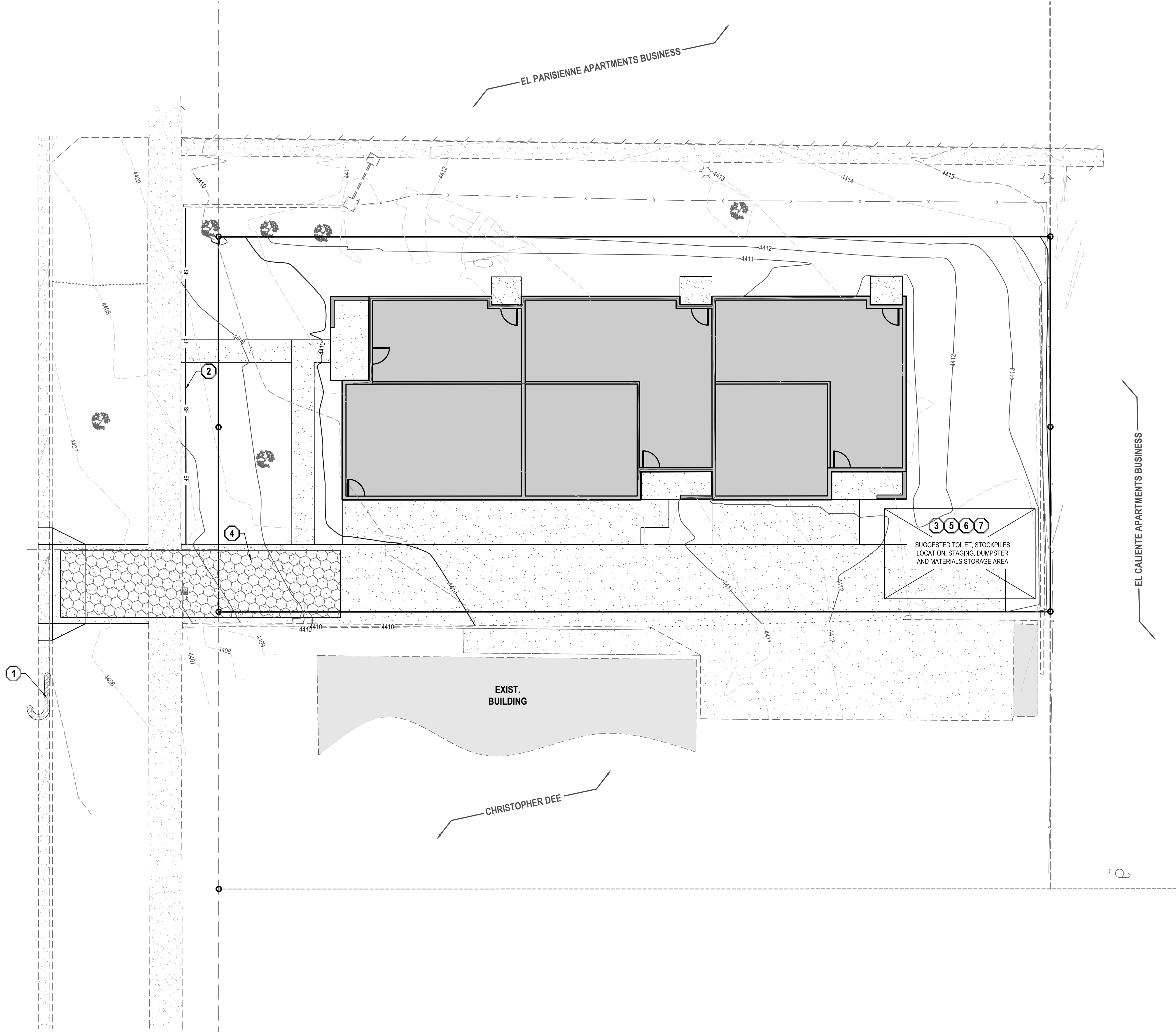
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BENCHMARK

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AND 800 EAST STREET  
(FOUND 2.5" BRASS CAP)

ELEVATION = 4396.00  
NAVD29

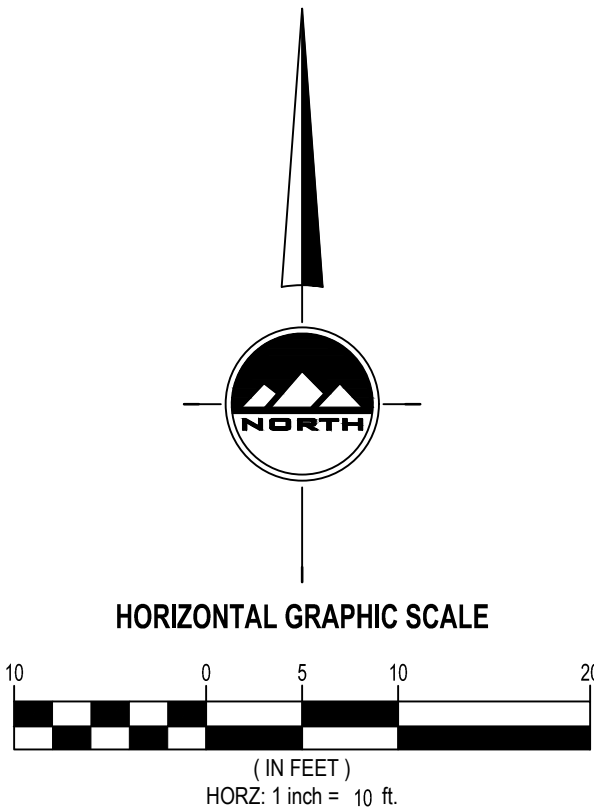
800 EAST STREET  
(PUBLIC STREET)



- GENERAL NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
  2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  6. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
  7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

- SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 INLET PROTECTION PER DETAIL 2/C-600.
  - 2 SILT FENCE PER DETAIL 3/C-600.
  - 3 PORTABLE TOILET PER DETAIL 4/C-600.
  - 4 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 5/C-600.
  - 5 CONCRETE WASTE MANAGEMENT PER DETAIL 6/C-600.
  - 6 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
  - 7 SUGGESTED STOCKPILE AREA.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			





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PHONE: 801-505-8105

**TAG 800**

**51 SOUTH 800 EAST**

**SALT LAKE CITY, UTAH**



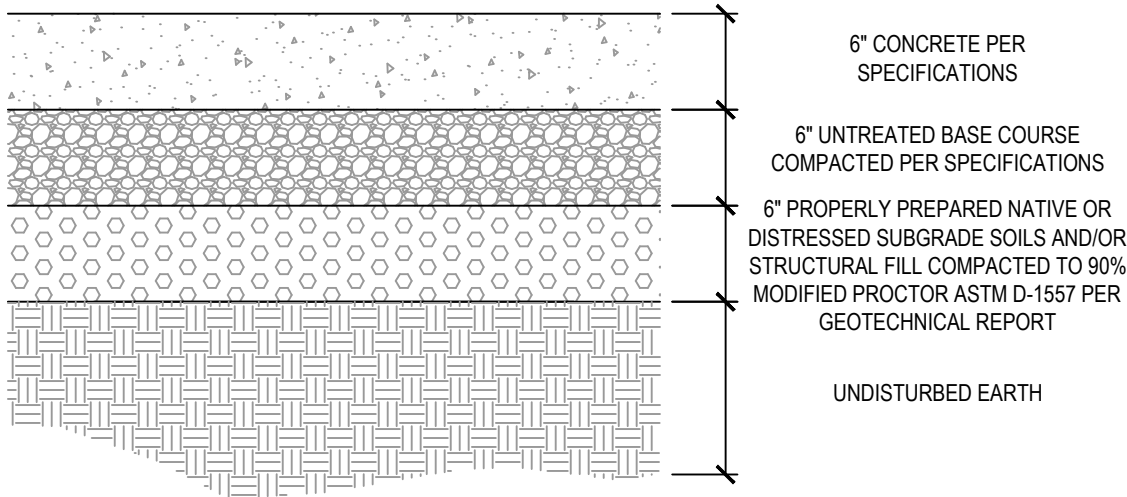
2016-06-20 SUBMITTAL

**EROSION CONTROL PLAN**

PROJECT NUMBER: 6714  
PRINT DATE: 6/21/16  
DRAWN BY: D. COWLEY  
CHECKED BY: B. PREECE  
PROJECT MANAGER: B. PREECE

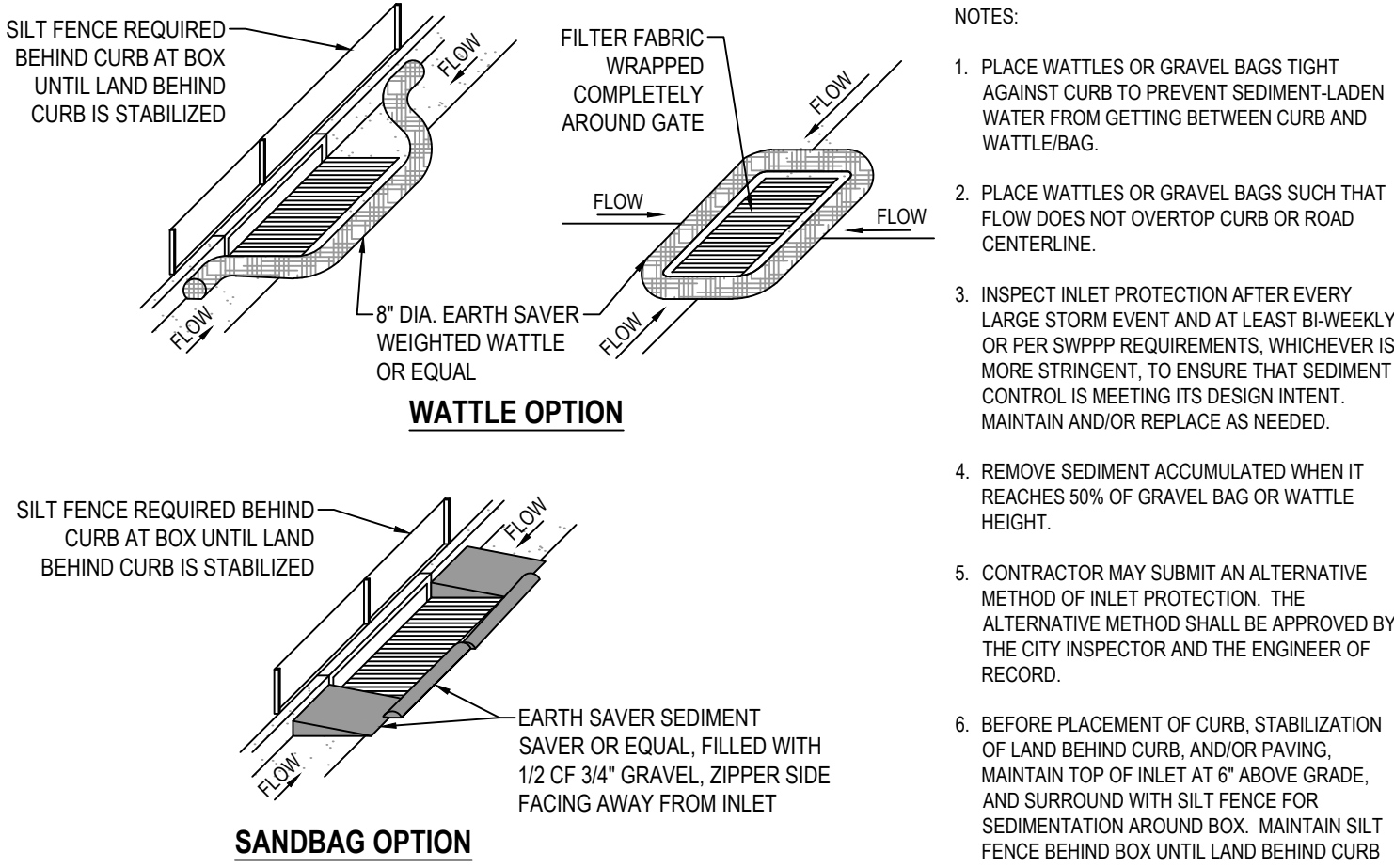
**C-500**

1 CONCRETE PAVEMENT SECTION



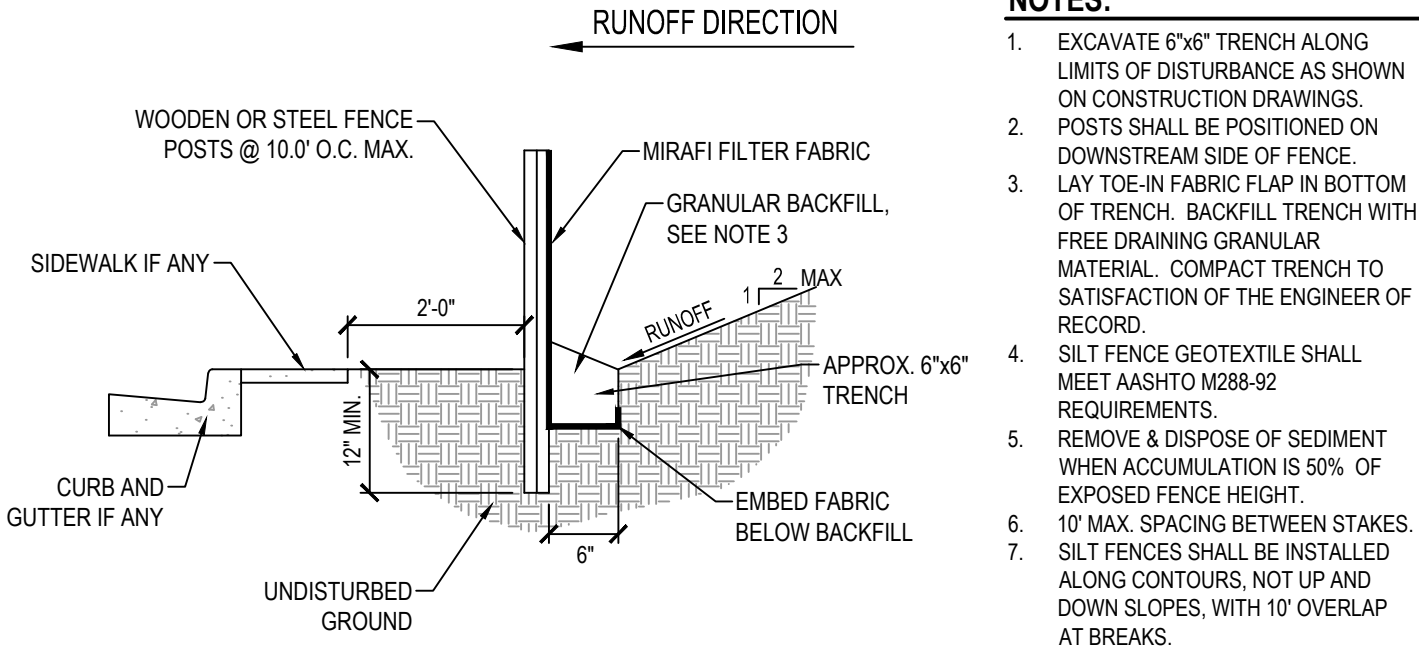
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2 SAG INLET PROTECTION



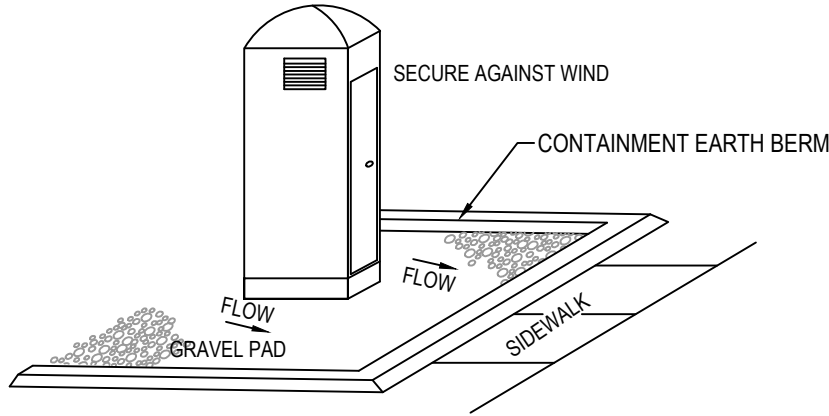
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3 TEMPORARY SILT FENCE



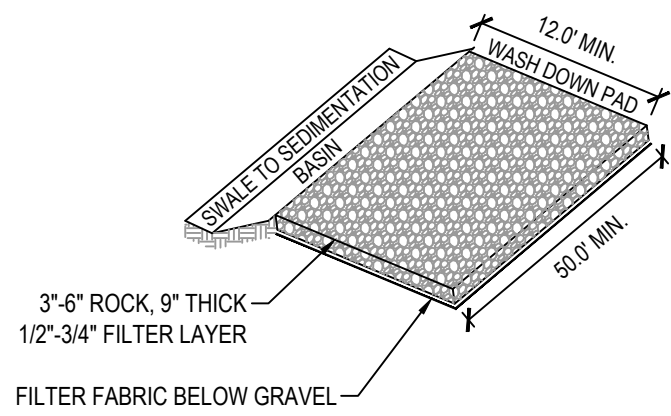
SCALE: NONE

4 PORTABLE TOILET



SCALE: NONE

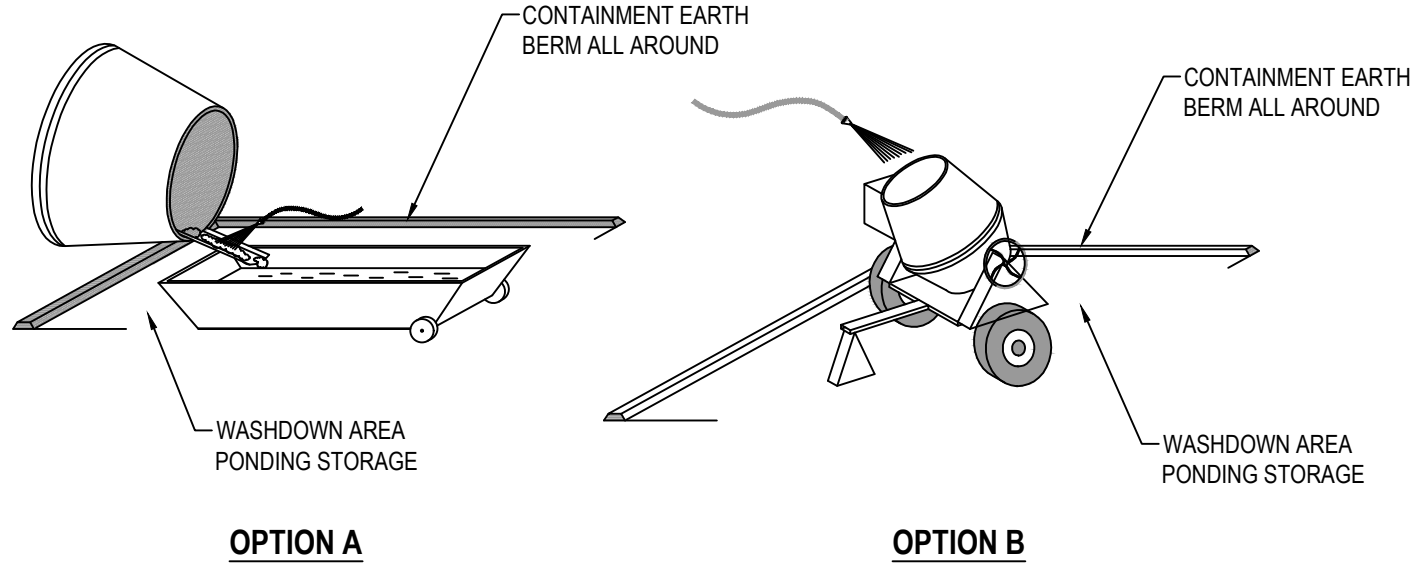
5 STABILIZED CONSTRUCTION ENTRANCE



NOTE:  
1. PLACE SIGN ADJACENT TO ENTRANCE \* CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION \*

SCALE: NONE

6 CONCRETE WASTE MANAGEMENT



SCALE: NONE



811

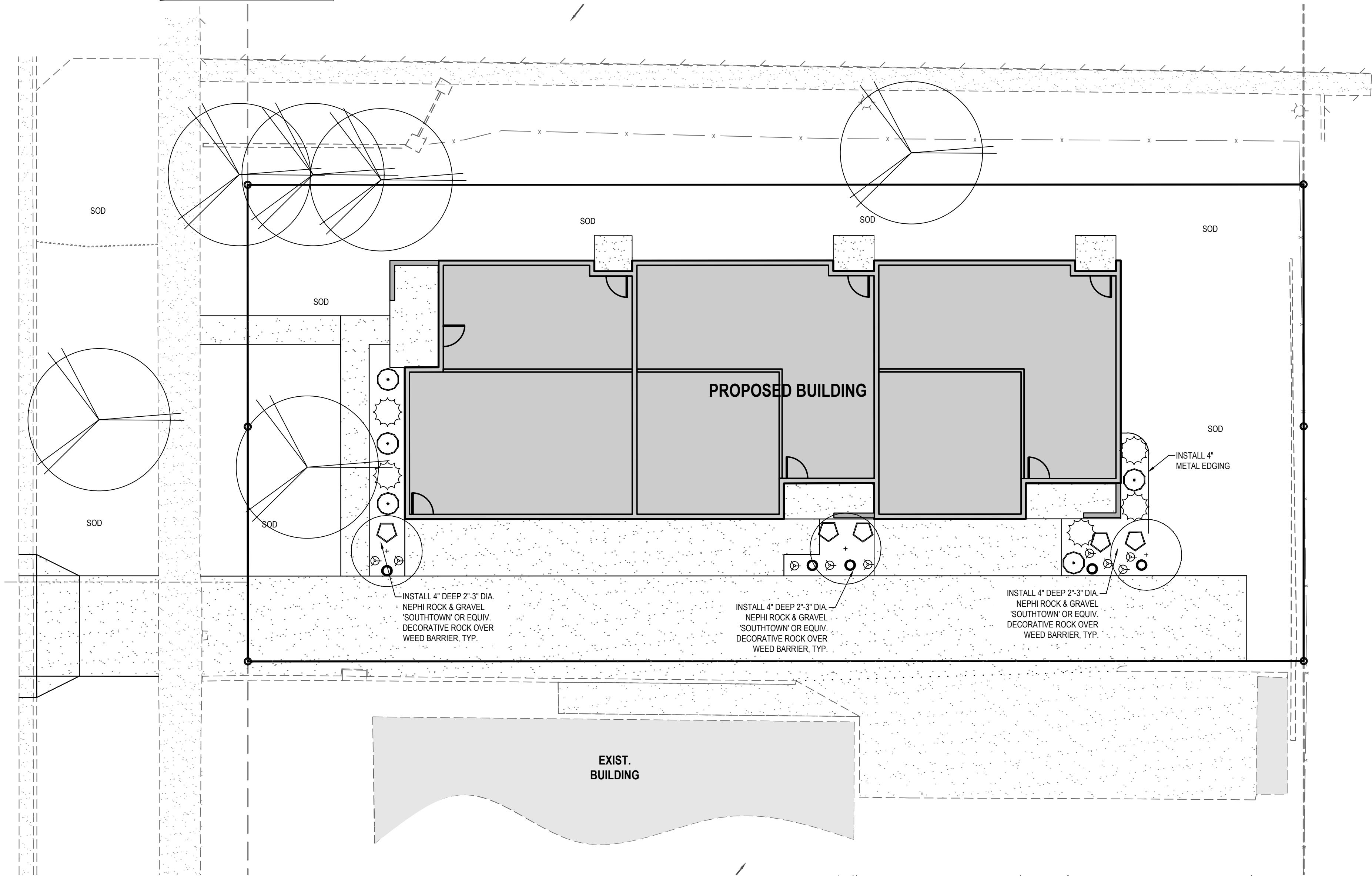
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ELEVATION = 4396.00  
NAVD29



NORTH

HORIZONTAL GRAPHIC SCALE

100

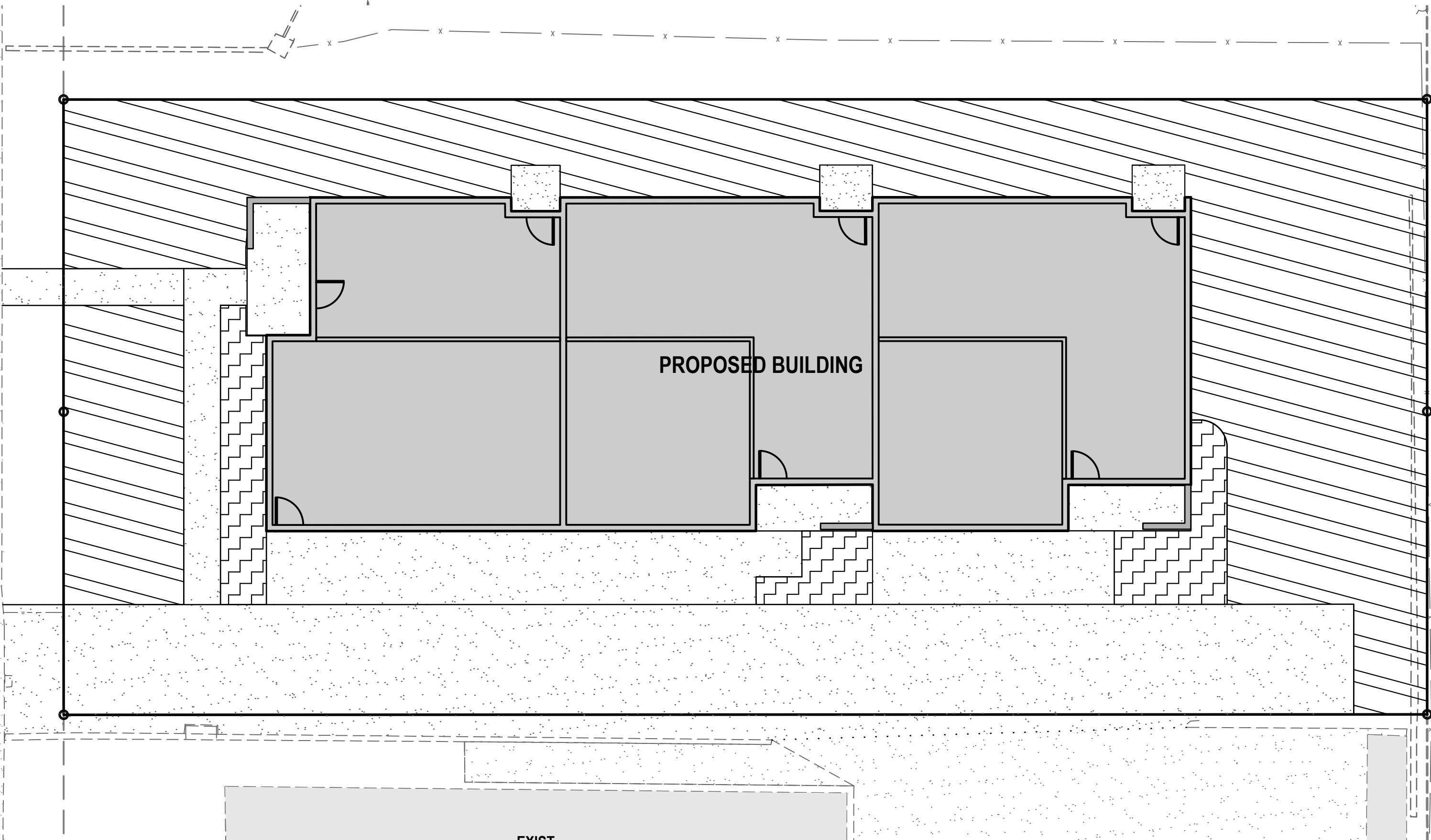
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5

10

20

( IN FEET )  
HORZ: 1 inch = 10 ft.



Landscape

Trees					
Qty	Symbol	Common Name	Botanical Name	Plant Size	Hydrozone
6		Existing Tree To Remain	N/A	N/A	N/A
3		New Mexico Locust	Robinia neomexicana	2' Cal.	Td1

Shrubs Under 4 Feet

Qty	Symbol	Common Name	Botanical Name	Plant Size	Hydrozone
5		Russian Sage	Perovskia atriplicifolia	5 Gallon	P1
5		Dorr's Sage	Salvia dorrii	5 Gallon	Sd0
5		Fernbush	Chamaebatiaria millefolium	5 Gallon	Sd0

Grasses

Qty	Symbol	Common Name	Botanical Name	Plant Size	Hydrozone
5		Blue Oat Grass	Helictotrichon sempervirens	1 Gallon	Tw1

Annuals-Perennials

Qty	Symbol	Common Name	Botanical Name	Plant Size	Hydrozone
9		Hummingbird Flower	Epilobm caanum v. latifolia	1 Gallon	P1

Hydrozones		
Symbol	Plant Factor Class	Area (sq ft)
	Low Water Use (Drought Tolerant Plants)	376
	High Water Use (Sod)	3,266
Total Area:		3,642

EN SIGN

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SALT LAKE CITY, UTAH

2016-06-20 SUBMITTAL

LANDSCAPE PLAN

PROJECT NUMBER  
6714

PRINT DATE  
6/21/16

DRAWN BY  
D. COWLEY

CHECKED BY  
B. PREECE

PROJECT MANAGER  
B. PREECE

L-100

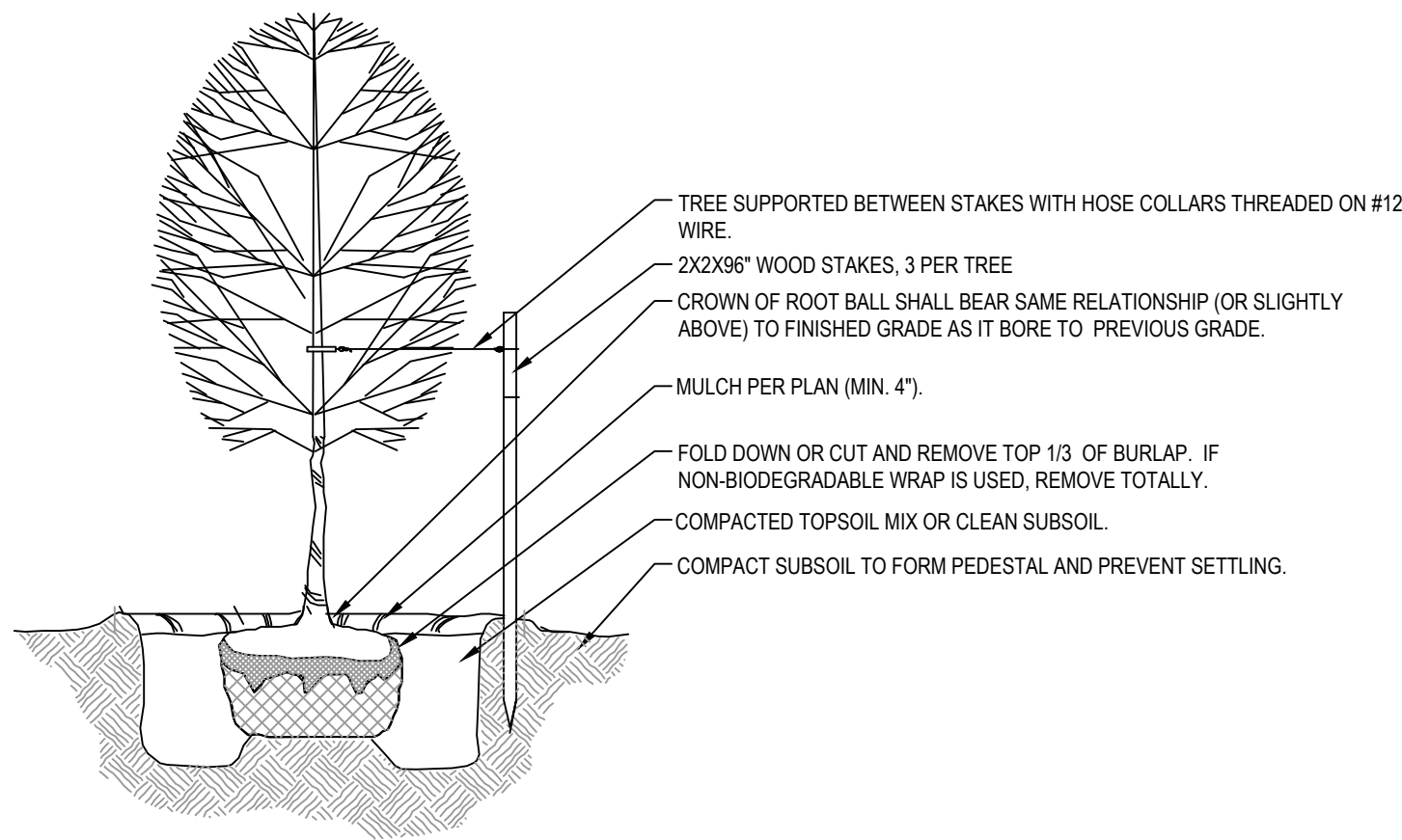
Date Published: July 7, 2016

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS, ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
- CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
- PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:  
A. 4" TOPSOIL IN ALL SOD AREAS  
B. 6" TOP SOIL IN ALL PLANTER BEDS
- WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

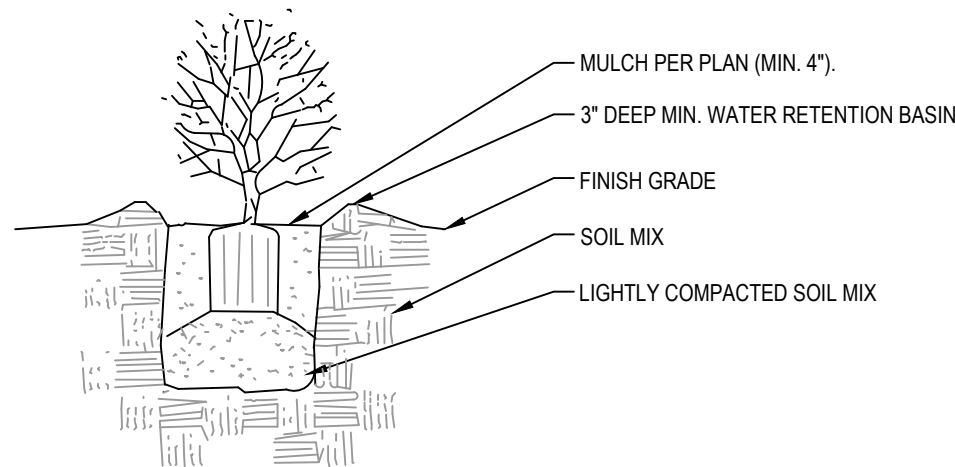
IRRIGATION NOTES:

- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPERATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
- FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



9 TREE PLANTING DETAIL

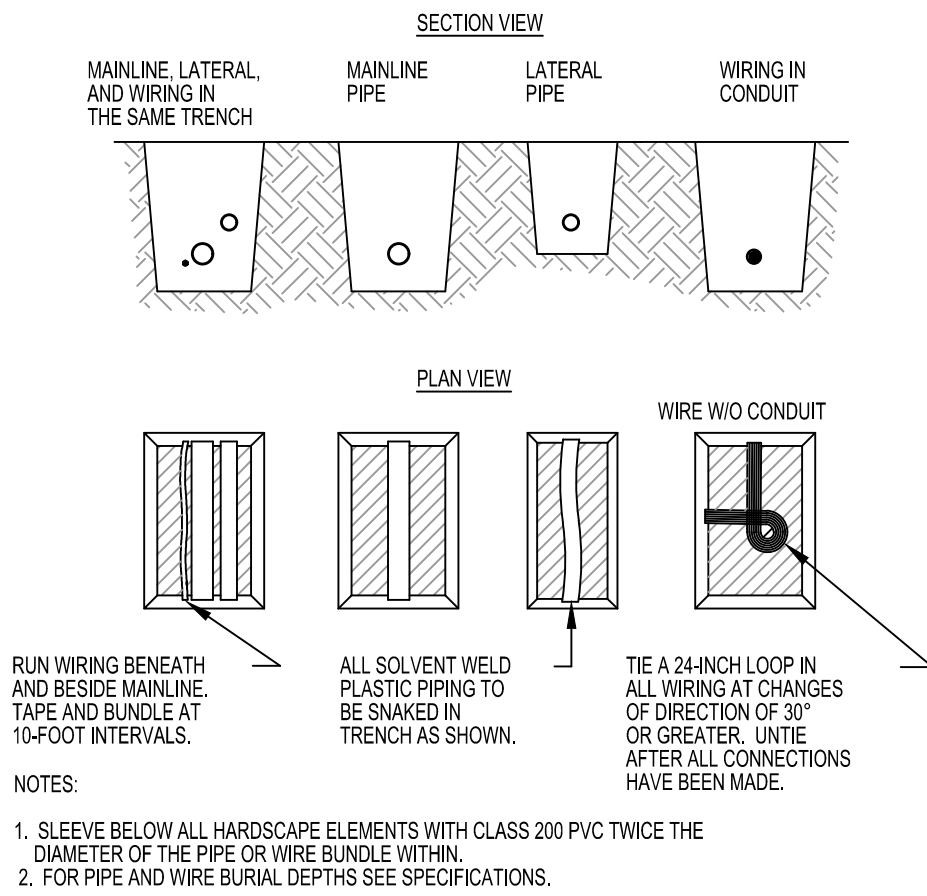
SCALE: NONE



TYPICAL PLANTING PIT DEPTH = 2 X DEPTH OF BALL.  
TYPICAL WIDTH = 2 X WIDTH OF BALL

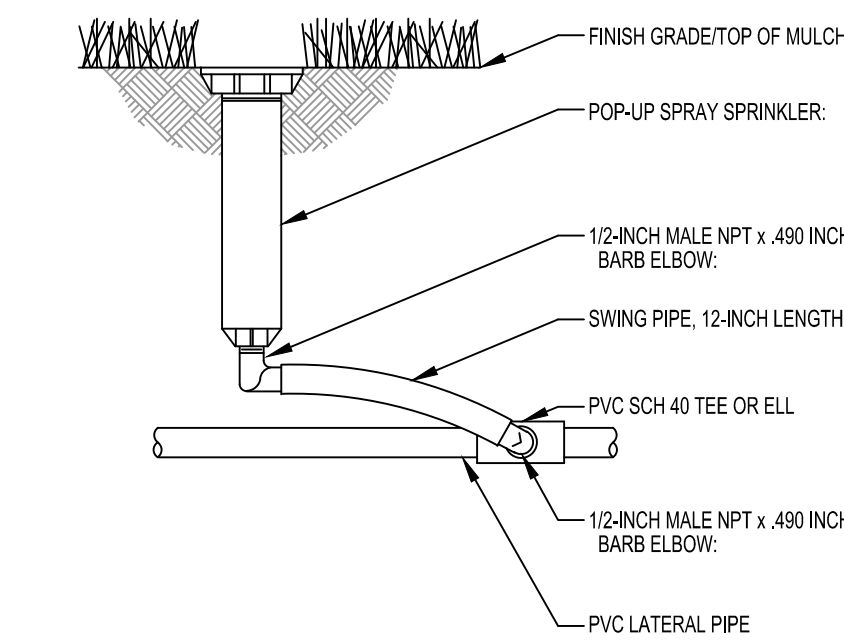
10 SHRUB PLANTING DETAIL

SCALE: NONE



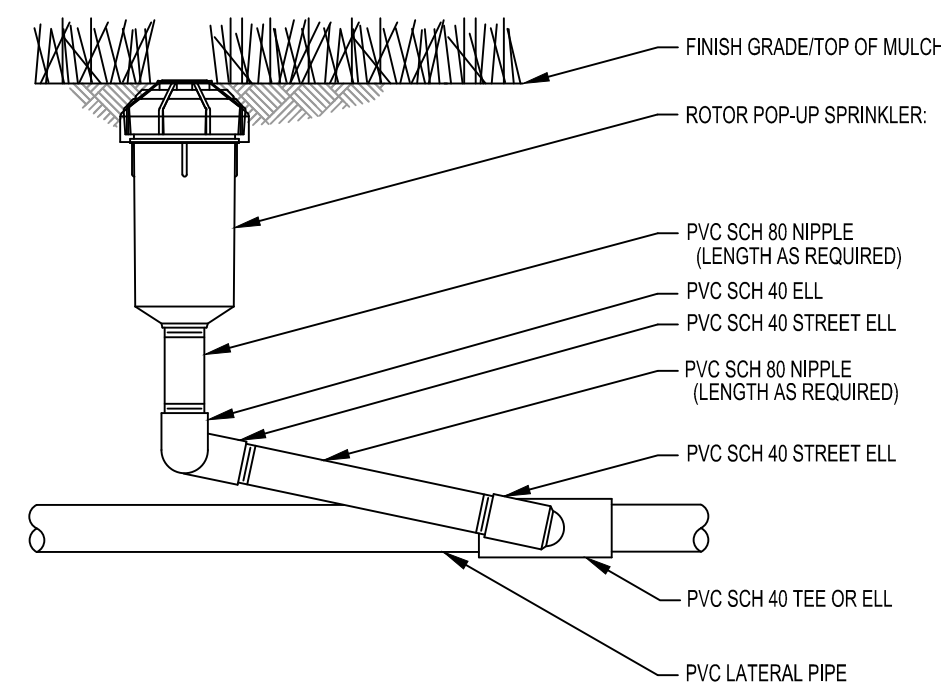
5 PIPE AND WIRE TRENCHING

SCALE: NONE



6 POP-UP SPRAY SPRINKLER

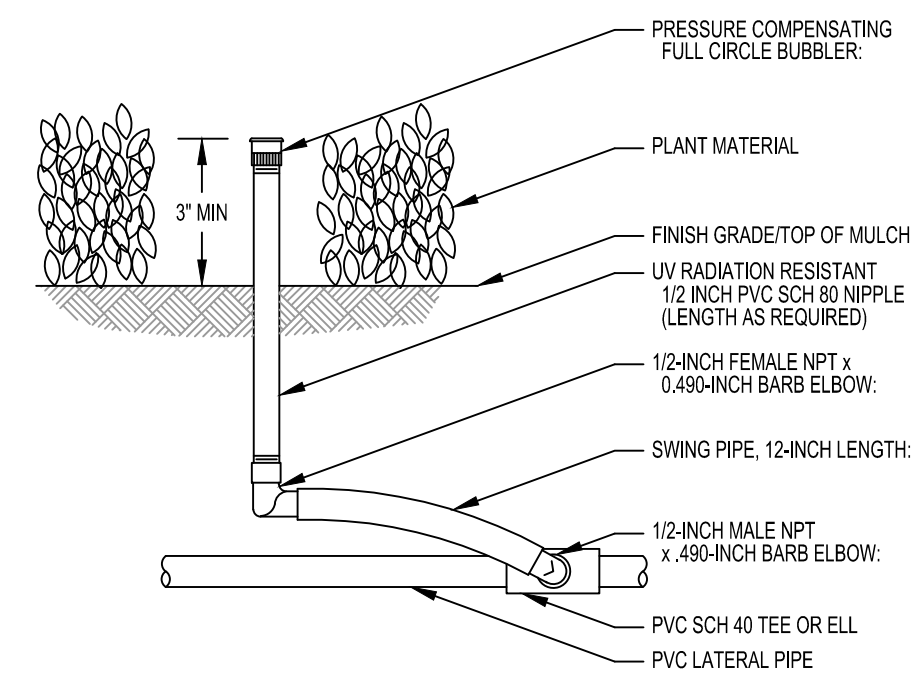
SCALE: NONE



NOTE:  
1. A SWING PIPE ASSEMBLY MAY BE USED WITH FLOWS LESS THAN 4 GPM.

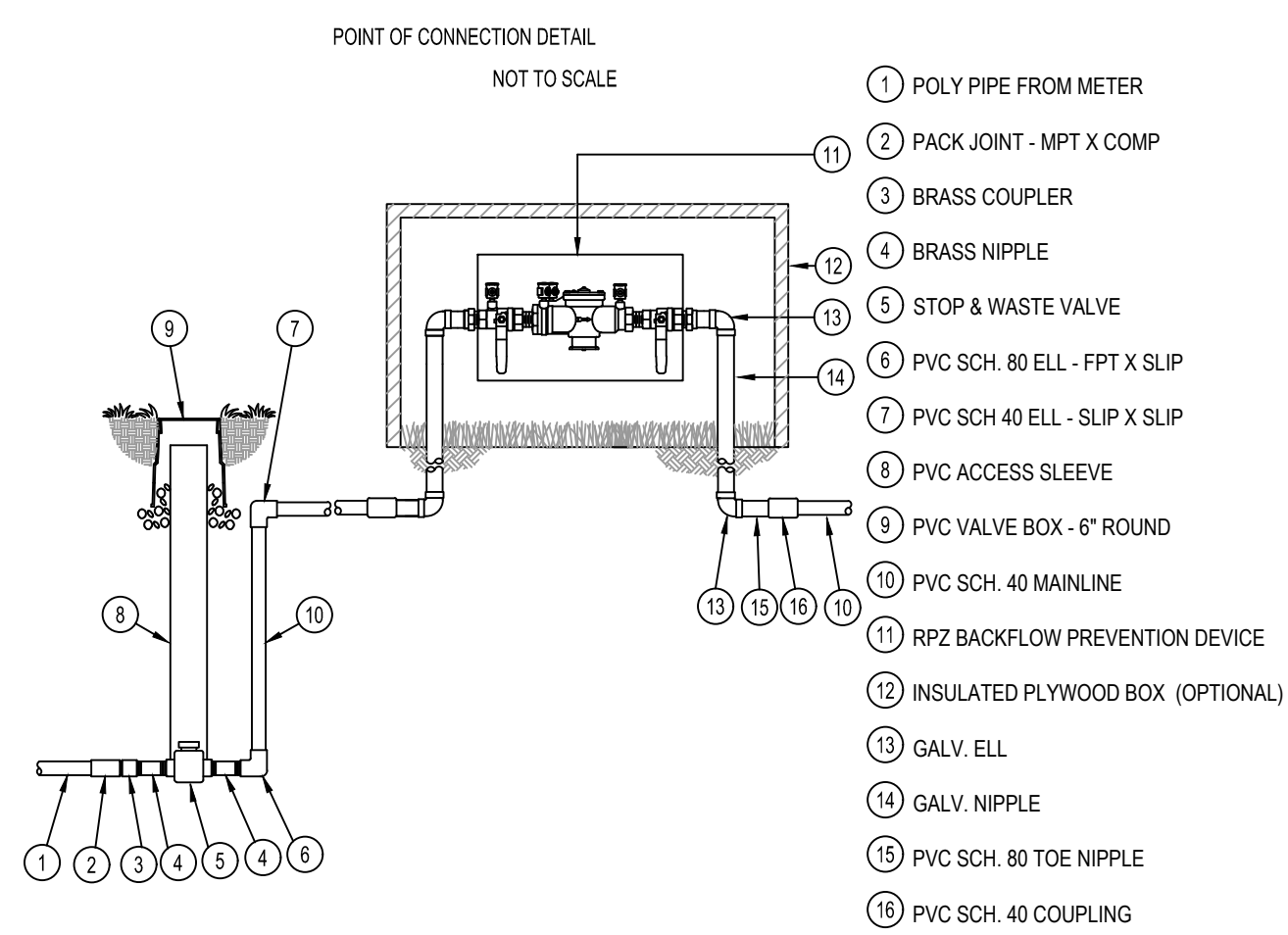
7 ROTOR POP-UP HEAD

SCALE: NONE



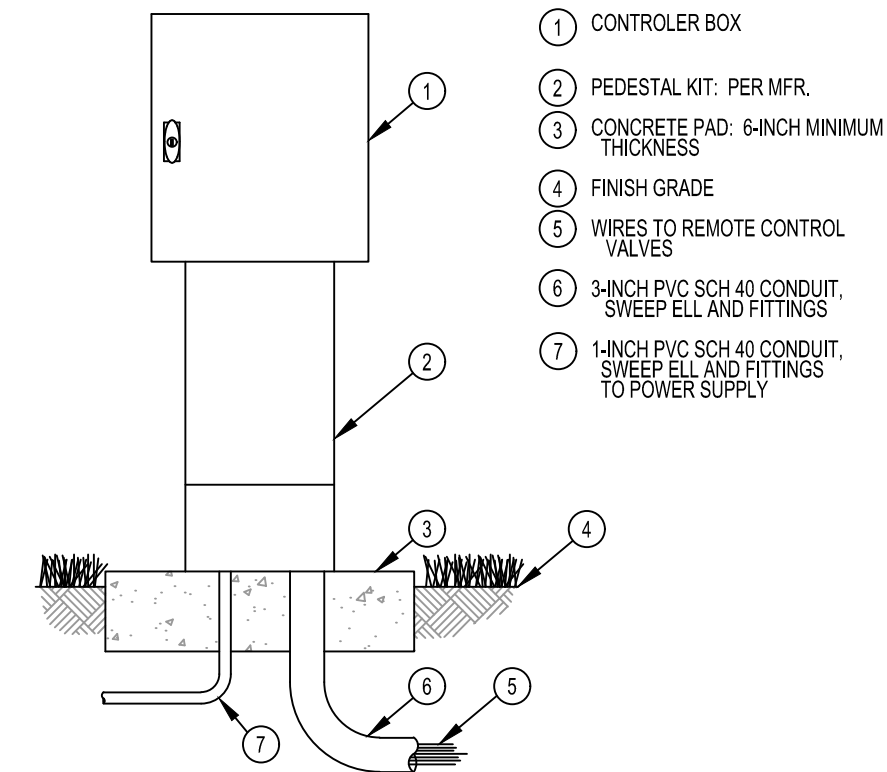
8 BUBBLER DETAIL

SCALE: NONE



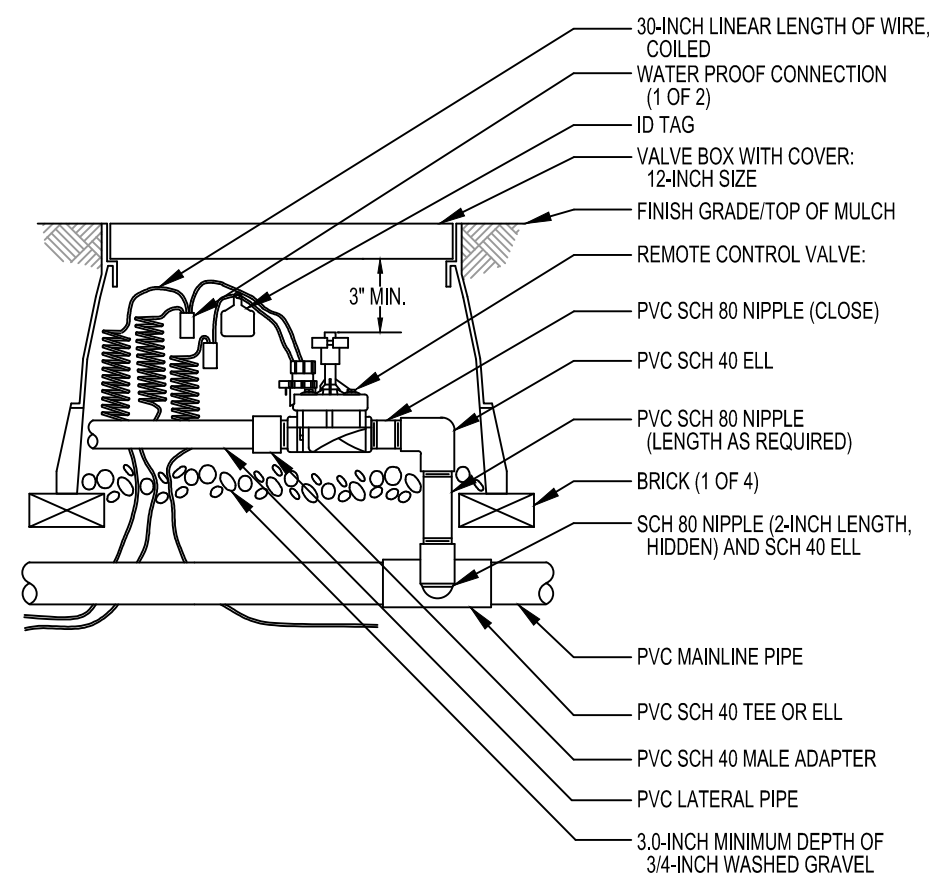
1 BACKFLOW PREVENTER

SCALE: NONE



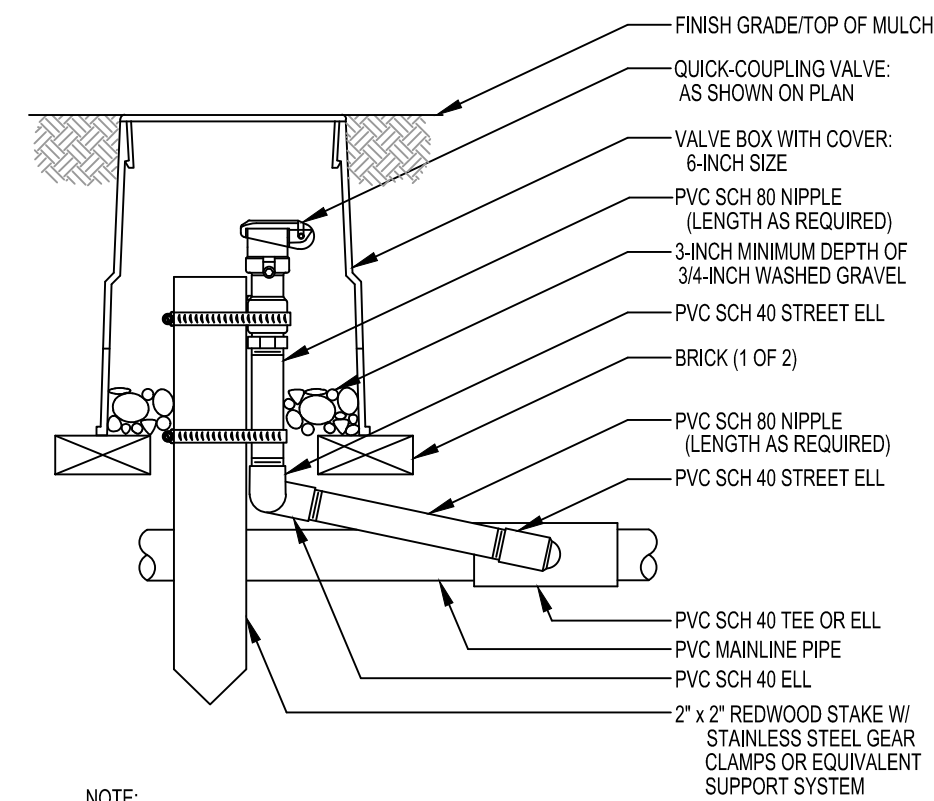
2 IRRIGATION CONTROLLER

SCALE: NONE



3 CONTROL VALVE

SCALE: NONE



NOTE:  
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

4 QUICK-COUPLING VALVE

SCALE: NONE



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SALT LAKE CITY, UTAH

2016-06-20 SUBMITTAL

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

LANDSCAPE AND IRRIGATION DETAILS

PROJECT NUMBER 6714  
PRINT DATE 6/21/16  
DRAWN BY D. COWLEY  
CHECKED BY B. PREECE  
PROJECT MANAGER B. PREECE

L-200

Date Published: July 7, 2016



## **ATTACHMENT D: Previous Versions - Building Elevations**





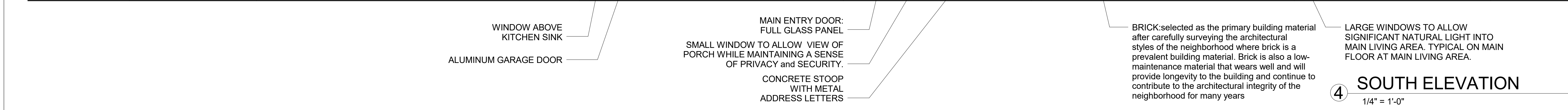
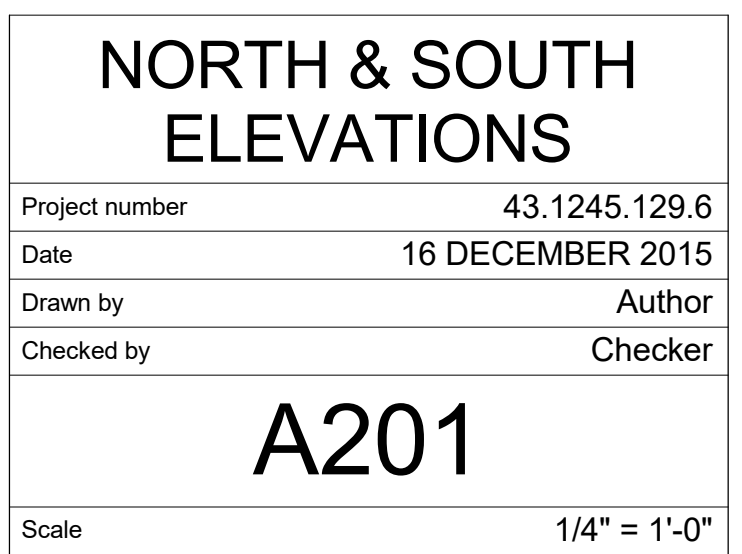
















## **ATTACHMENT E: Applicant Project Description**



## Written Findings

### **PROJECT: TAG 3-UNIT TOWNHOME DEVELOPMENT ADDRESS: 51 S 800 E**

#### **Project Description**

In light of the renewed interest in urban living and the demand for a diversity of housing types in Salt Lake City, The Atkin Group is proposing a contemporary three-unit townhome to replace an existing, deteriorating single family residence located on 800 East and 51 South. This project is in line with the city's initiative to create housing options in areas that have existing infrastructure as well as increasing the site's density at an appropriate scale that is compatible with the neighborhood.

It is the goal of this project to create an appealing, medium-density residential development that the new residents and the current neighbors find pleasing and that is compatible with the style and spirit of the neighborhood.

This project aims to be compatible with the adjacent properties and with the neighborhood by blending the intimacy and conveniences that might be expected of a single family home with the community-based lifestyle that comes with a multi-family development.

Each proposed townhome will have a footprint of approximately 1,300 square feet, with a total of approximately 3,000 sf of living space.

#### **Architectural Style**

The proposed 3-unit townhome can best be described as contemporary architecture. Although the project does draw inspiration from the context of the architectural styles in the neighborhood, the interpretation of those traditional elements comes across in a contemporary design language.

The overall design concept of this project is that the two end units are of traditional materials – primarily brick and they sandwich the contemporary, corrugated metal middle unit. Three distinct units emerge and are expressed clearly through the bold contrast in materials. However, to tie all three units together, the same reddish brick is used across the ground level of all units. In addition, the balcony and porch areas utilize corrugated metal to visually connect the project as a whole.

#### **Primary architectural features expressed in this project:**

- The juxtaposition of brick and corrugated metal. Corrugated metal panel is used to complement the use of brick. It also helps the central unit boldly differentiate itself from its' two neighboring units.
- Two colors of brick are used to contrast one another and provide visual variation in the elevations.
- The brick work incorporates a cornice at the top, soldier courses, and horizontal brick reveals to create depth on the façade. (These are likely considered traditional masonry details, but combined with corrugated metal and the overall forms of the building it becomes part of the complete contemporary design.)
- Aluminum louvered awnings over balconies and porches.

- **Architectural Façade Recesses**

- The balconies and porches at all three levels, front doors and rear doors are all recessed to various depths with the design intent of providing depth along each side of the building. Shade provided at each of these areas allows occupants to use these areas throughout the day.

- **Generous use of glass and natural light:**

Large windows provide ample natural light deep into the space, thus infusing it with a sense of cheerful spaciousness. They brighten and lighten the space. The outside views also play a key role in the placement of the windows. This is common in both modern and contemporary design.

**Logic behind window layout and pattern:**

- The logic behind the window layout is to allow appropriate amounts of natural light, appropriate privacy, and the option to operate the windows where appropriate. This hierarchy is expressed through six different window types.
- Each unit has the same type of window for any specific interior function. For example, all bedrooms have the same size sliding windows while all living rooms have the same large fixed windows that provide significant natural light and allow for outward views. Bathroom windows are all the same window type and are placed high to preserve privacy. They are sliding windows to allow for natural ventilation when desired.
- A clear aesthetic pattern emerges on the exterior by using the same window types in the same relative interior spaces. All window head-heights are coordinated to be the same on each floor to create a clean visual effect. Sill heights do vary due to desired natural light and privacy. Careful attention has been paid to align windows vertically with other windows to further reinforce a clear, organized design language.

**Planned Development Purpose Statement:**

The proposed project meets the following objectives as described below:

- A. The primary building material is brick. Corrugated metal panel, glass and decorative architectural features in metal complete the material palette. Brick was selected as the primary building material after carefully surveying the architectural styles of the neighborhood where brick is the prevailing building material. Brick is also a low-maintenance material that wears well and will provide longevity to the building and continue to contribute to the architectural integrity of the neighborhood for many years. Corrugated metal is used to complement the brick and is intended to bring balance to the overall architectural composition of the building mass. Windows are carefully placed to provide natural light to each unit and to provide aesthetic interest.

Each unit is given a distinct identity; this is achieved through use of materials – brick and corrugated. A second story porch over the entrance is a very common element this project's design borrows from many of the historic homes in the area. Each unit having a distinct identity allows each owner to have a very real sense of ownership of space.

Unit 1 is oriented towards and engages 800 East. It not only visually, but physically connects to the 800 E streetscape, with a sidewalk connection with direct access to unit 1. Unit 1 has a south west facing corner balcony that serves two purposes; it softens that corner of the building by breaking down the overall massing so it feels less imposing, and it allows the occupants another opportunity to engage with the community.



Units 2 and 3 face south with front porches and entrances still visible from 800 East. All three units have a north-facing (rear) door on the ground level and a second level balcony. These features enable the occupant to easily engage the outdoors and neighborhood. They also provide architectural interest along this elevation.

This proposal will create a product that owners will take ownership of and can take pride in, thus creating a pleasing environment and much enhanced product over the current deteriorating and poorly maintained home that occupies the site.

Colored elevations of the project are now provided as part of the submittal package.

D. It is the goal of this project to create an appealing, medium-density residential development that the new residents and the current neighbors find pleasing and that is compatible with the style and spirit of the neighborhood.

Despite being a three-unit development, this project brings the intimacy and conveniences that might be expected of a single family home (private ground level entrances, garages, overall unit size), yet at the same time the multi-tenant aspect of the project naturally contributes to a community lifestyle, common area and landscape for recreation.

#### **Standards for Planned Developments:**

A. Planned Development Objectives: See these objectives above.

B. As stated in the East Central Neighborhood Plan there is a large variety of housing in East Central. Large apartments are mixed with small homes, often side by side, and new development is mixed among old. And the most significant problem with the existing housing stock is the lack of maintenance, cluttered lots etc. The current residence on the site is not well maintained and is a blight on the neighborhood. The newly proposed building is a medium density, three unit townhome that fits in perfectly with the mix of different housing types in the area.

These townhomes will be owner occupied residences which will help ensure that they are well maintained. In an effort to minimize street parking each unit is provided with a garage. One of the proposed units has a 3 car garage and the other two units have two car garages.

C. The objective of this building's exterior is to maintain the stylistic integrity of the neighborhood's streetscape. As stated above it does this through the use of brick and brick detail which is prevalent in the neighborhood.

Each unit also contains a multi-story porch with a ground level front door which is a classic architectural feature that is displayed on many of the residences in the area. To further help the project blend into the neighborhood, the front door and two story porch on the front unit has been turned to face 800 East, and the 800 E sidewalk has been connected directly to this unit, so that the project can address its primary street face. Within the vicinity of this project are both single family homes and larger multi-family projects. This project aims to be compatible with the adjacent properties and with the neighborhood by blending the intimacy and conveniences that might be expected of a single family home with the community-based lifestyle that comes with a multi-family development.

- F. This lot is zoned RMF-30 low density multi-family. The project is a three unit townhome which is allowed in the RMF-30 zone. The project is staying at the maximum building height of 30 feet in the zone. The project meets all of the minimum yard requirements with a 20 foot front yard, 10 foot corner side yard, 10 foot interior side yard for multi-family, and a rear yard that is 25.7'. The project is not exceeding the max building coverage of 40 percent for Multi-Family Dwellings. The result of this proposed project is a much enhanced product that strives to be compatible with the neighborhood's architectural styles and enhance the housing options in the community.



## ATTACHMENT F: Existing Conditions

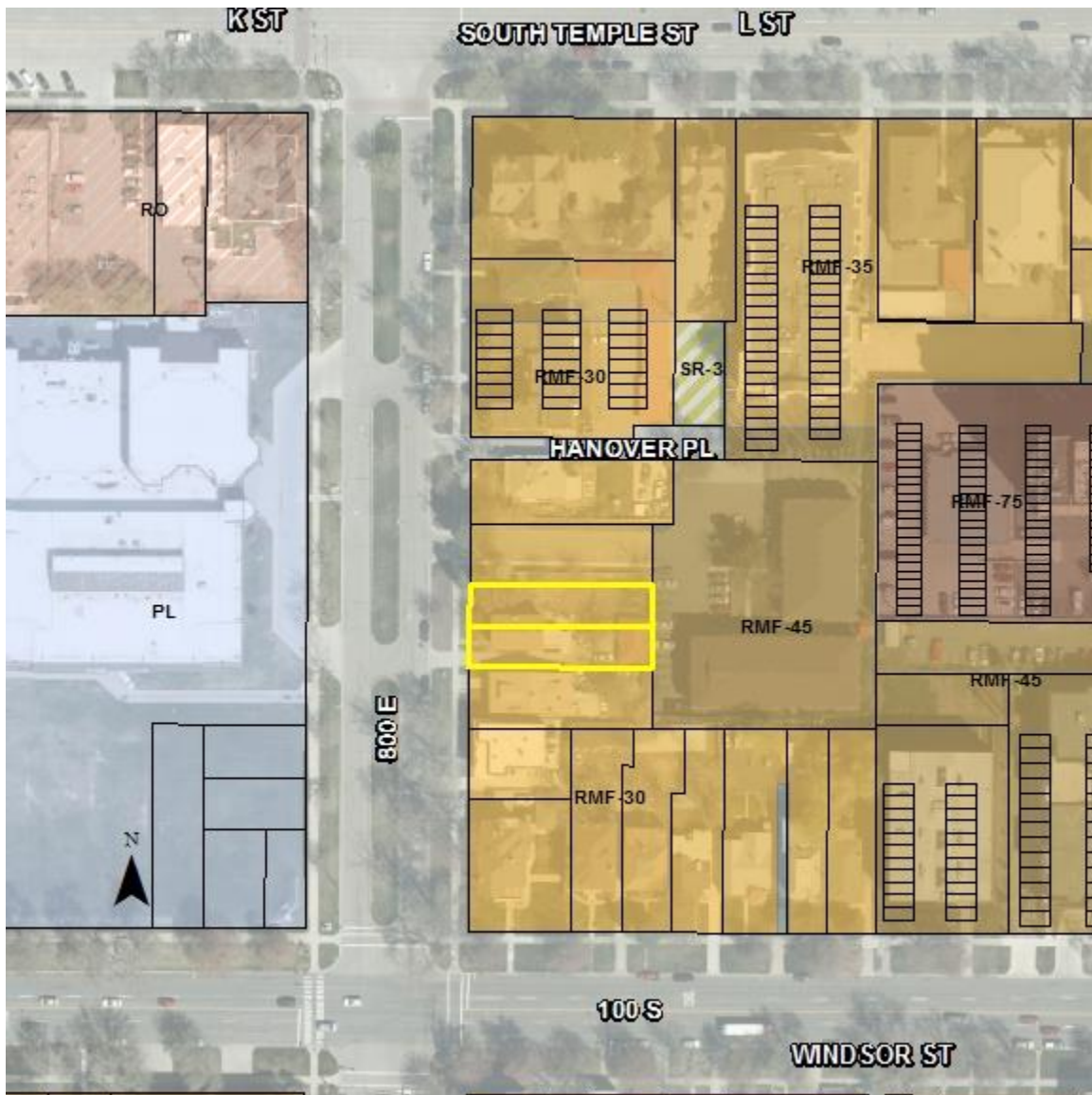
The project includes two existing adjacent properties, one has an existing single family residence and detached accessory structure (51 S 800 E) and the other property is vacant land (49 S 800 E). The existing building would be demolished to accommodate the proposed building

The adjacent uses include:

North: Drive entrance to the apartment building located to the east, zoned RMF-30

East: Apartment building, zoned RMF-45

South: Single-family home, zoned RMF-30



## ATTACHMENT G: ANALYSIS OF STANDARDS

The proposed townhome project would generally be reviewed as a “single-family attached dwelling” under the zoning standards for the yard requirements. However, because the proposed units in the project run perpendicular to the right of way as opposed to parallel, the proposal is being reviewed as a “multifamily dwelling” based on how it engages the street. Regardless of which dwelling type staff reviews it, the proposed end product is the same.

### 21A.24.120: RMF-30 LOW DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT:

- A. Purpose Statement: The purpose of the RMF-30 low density multi-family residential district is to provide an environment suitable for a variety of housing types of a low density nature, including single-family, two-family, and multi-family dwellings, with a maximum height of thirty feet (30'). This district is appropriate in areas where the applicable master plan policies recommend multi-family housing with a density of less than fifteen (15) dwelling units per acre. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

#### Applicable General Zoning Standards for a Multifamily Building:

	RMF-30 Zone Standards	Proposed Development	Complies
<b>Lot Size for Multifamily dwellings</b>	9,000 sq ft min. (Qualifying provisions: 9,000 square foot minimum for 3 dwelling units plus 3,000 square feet for each additional dwelling unit.)	9,953 sq ft	Yes
<b>Lot Width</b>	80 ft min.	67 ft	No, modification requested
<b>Front/Corner Yard Setback</b>	20' min.	20'	Yes
<b>Side Setback</b>	10' min.	10'	Yes
<b>Rear Setback</b>	25% of lot depth, but not less than 20' and need not exceed 25'	25'7"	Yes
<b>Building Height</b>	30' max.	30'	Yes
<b>Building Coverage</b>	40%	37%	Yes

### 21A.36.010 Use of Land and Buildings

- B. Frontage of Lot on Public Street: All lots shall front on a public street unless specifically exempted from this requirement by other provisions of this title

<b>Frontage of Lot on Public Street</b>	All lots shall front on a public street	2 lots without frontage	No, modification requested
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**21A.55.050: Standards for Planned Developments:** The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p><b>A. Planned Development Objectives:</b>  <b>The planned development shall meet the purpose statement for a planned development (section <a href="#">21A.55.010</a> of this chapter) and will achieve at least one of the objectives stated in said section:</b></p> <p><b>A. Combination and coordination of architectural styles, building forms, building materials, and building relationships;</b></p> <p><b>B. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;</b></p> <p><b>C. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;</b></p> <p><b>D. Use of design, landscape, or architectural features to create a pleasing environment;</b></p> <p><b>E. Inclusion of special development amenities that are in the interest of the general public;</b></p> <p><b>F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation;</b></p> <p><b>G. Inclusion of affordable housing with market rate housing; or</b></p> <p><b>H. Utilization of "green" building techniques in development.</b></p>	<p><b>Complies</b></p>	<p>Staff finds that the proposed project meets objectives A and D.</p> <p>A. <i>Combination and coordination of architectural styles, building forms, building materials, and building relationships:</i> The proposed development is influenced by a contemporary style, but also incorporates elements from the historic neighborhood. The development incorporates a combination of traditional brick and more modern use of metal on the project. The combination of these materials are coordinated throughout the overall design of the building, and the different materials help distinguish the different units. The rectangular building's mass is broken up through the use of balconies, porches, and detailing, which coordinates with the other buildings in the neighborhood.</p> <p>D. <i>Use of design, landscape or architectural features to create a pleasing environment:</i> The proposal meets this objective through its interesting design. The development incorporates the use of brick, brick detailing, double porches, awnings, and recessed areas in the building which adds interest to the block face.</p> <p>The development incorporates a double porch feature which is prevalent in the neighborhood, and incorporates balconies in the design of the project, which adds to the overall design and how it interacts with the public realm.</p> <p>The plane of the building varies and is visually appealing with the incorporation of detailing, quality materials, porches, and balconies.</p> <p>Overall, the building's design is unique and will benefit the City's streetscape.</p>

<p><b>B. Master Plan And Zoning Ordinance Compliance: The proposed planned development shall be:</b></p> <ol style="list-style-type: none"> <li><b>1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and future land use map applicable to the site where the planned development will be located, and</b></li> <li><b>2. Allowed by the zone where the planned development will be located or by another applicable provision of this title.</b></li> </ol>	<p><b>Complies</b></p>	<p>The Central Community Master Plan future land use map shows the proposed property as Low Medium Density Residential (10-20 Dwelling/units per acre) so this aspect of the project is consistent with both the master plan and zoning ordinance.</p> <p>The Central Community Master Plan provides the following policies related to the proposed development:</p> <ul style="list-style-type: none"> <li>• Policy RLU-1.0 Based on the Future Land Use map, use residential zoning to establish and maintain a variety of housing opportunities that meet social needs and income levels of a diverse population.</li> </ul> <p>The proposal would allow for townhomes to be built on a residential zoning. Townhomes are generally not well represented in supply throughout the City. This development would add to the variety of housing options throughout the city that meet the needs and income of a diverse population.</p> <ul style="list-style-type: none"> <li>• Policy RLU-3.0 Promote construction of a variety of housing options that are compatible with the character of the neighborhoods of the Central Community.</li> </ul> <p>Plan Salt Lake discusses how important it will be “to encourage and support a diversity of new housing options and types with a range of densities throughout the City to best meet the changing population.” The following Plan Salt Lake initiatives are applicable to this development:</p> <ul style="list-style-type: none"> <li>• Direct new growth toward areas with existing infrastructure and services that have the potential to be people-oriented</li> <li>• Enable moderate density increases within existing neighborhoods where appropriate</li> </ul> <p>The proposed townhomes is a use that is allowed and anticipated in the RMF-30 zoning district.</p>
<p><b>C. Compatibility: The proposed planned development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will</b></p>	<p><b>Complies</b></p>	<p>The proposed planned development is compatible. The proposed lot width of 67’ as opposed to 80’ is compatible with the surrounding neighborhood. The neighborhood is eclectic with a mix of single family and multifamily buildings and a variety of lot widths.</p>



<p><b>be located. In determining compatibility, the planning commission shall consider:</b></p> <ol style="list-style-type: none"> <li><b>1. Whether the street or other adjacent street/access; means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any</b></li> <li><b>2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on:</b> <ol style="list-style-type: none"> <li><b>a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;</b></li> <li><b>b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property;</b></li> <li><b>c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.</b></li> </ol> </li> <li><b>3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;</b></li> <li><b>4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;</b></li> </ol>		<p>The lot widths on the block face range from approximately 50' to 140'. The single family lot to the north and to the south of the subject properties both have frontages of approximately 54' and 47', respectively. A reduction in the lot width may better match those of the surrounding properties. The building has front façade elements that engage the street such a double porch feature, brick detailing, coordinated building materials, windows, and a brick stoop that are compatible with the block face.</p> <p>The Transportation Division did not express any concerns in regards to circulation/traffic:</p> <ol style="list-style-type: none"> <li>1. The property maintains access from 800 East. The ingress/egress of the site will not degrade service on 800 East.</li> <li>2. The proposal will not create any unusual pedestrian or vehicle traffic patterns. The driveway is oriented in a way that will direct traffic onto 800 East. Two of the three units in the proposed development will have two car garages and one unit will have a three car garage. The proposal meets parking requirements for the property. The drive approach on the proposed project is shared with the property owner located to the south. The property owner to the south will still have access via the existing access easement. The 3 unit townhome proposal will not impact peak traffic that will unreasonably impair the use and enjoyment of the property.</li> <li>3. The internal circulation of vehicle and pedestrian traffic is contained within the property. The number of vehicles using the driveway is not expected to cause any adverse impacts on the adjacent properties.</li> <li>4. The development will be required to upgrade utility infrastructure where determined to be necessary by the City Utilities Department and other responsible entities in order to adequately provide service. No adverse impacts are expected from increased utility or public service use from the property.</li> </ol>
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<p><b>5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and</b></p> <p><b>6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties.</b></p> <p><b>If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.</b></p>		<p>5. The development is residential and such use would not have unusual noise impacts on the adjacent residential properties.</p> <p>6. The project is zoned low density multifamily residential and the proposed townhomes maintain that intensity. The overall size and scale of the proposal is compatible with adjacent properties in the neighborhood. The block face in which the subject properties are located contain a variety of housing types, including both single-family and multi-family options. The heights of the buildings along the block face range from 18'-30' The height of the building fits in with the buildings along the block face. The existing home on the property is approximately 30 feet tall. The proposed building will be approximately 30 feet, which is the maximum allowed in the RMF-30 zoning district.</p> <p>The proposed use, being solely residential, is not subject to the additional design criteria of the "conditional building and site design review".</p>
<p><b>D. Landscaping: Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of drought tolerant species;</b></p>	<p><b>Complies</b></p>	<p>The landscape plans show that existing trees on the property will remain. Three additional trees will also be planted.</p> <p>The landscaping will need to comply with the "water wise or low water plants" required by 21A.48.055: "Water Efficient Landscaping" section of the zoning code and so will comply with the landscaping standard regarding drought tolerant species.</p>
<p><b>E. Preservation: The proposed planned development shall preserve any historical, architectural, and environmental features of the property;</b></p>	<p><b>Complies</b></p>	<p>The subject properties are located within the Bryant National Historic District; however, the properties are not located within a local national historic district and are not subject to local regulations. There are not historical, architectural, or environmental features on this site that warrant preservation.</p>



<b>F. Compliance With Other Applicable Regulations: The proposed planned development shall comply with any other applicable code or ordinance requirement.</b>	<b>Complies</b>	The proposal has shown the ability to comply with all other applicable code or ordinance requirements.
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**20.16.100: STANDARDS OF APPROVAL FOR PRELIMINARY PLATS:** All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

<b>Standard</b>	<b>Finding</b>	<b>Rationale</b>
<b>A. The subdivision complies with the general design standards and requirements for subdivisions as established in Section 20.12.</b>	<b>Complies, subject to approval of Planned Development</b>	The applicant is requesting modification to the standard subdivision and zoning standards through the Planned Development process. The following subdivision standard modifications are proposed for this development:  20.12.E. Access to Public Streets Lot 2 will not have direct access to a public street, but will rely on an access easement across Lot 1 to access Jimmy Doolittle Road. Lot 1 will have direct access to a public street.
<b>B. All buildable lots comply with all applicable zoning standards</b>	<b>Complies</b>	Other than the standard noted above, the lots in the proposed subdivision will comply with all applicable zoning standards.
<b>C. All necessary and required dedications are made;</b>	<b>Complies</b>	The proposed subdivision amendment does not require any additional right of way dedications. Utility and drainage easements will need to comply with the requirements from Public Utilities and the final locations of these easements will be determined prior to the final subdivision process.
<b>D. Water supply and sewage disposal shall be satisfactory to the public utilities department director;</b>	<b>Complies</b>	Water supply and sewage disposal will be evaluated and any upgrades or changes to such to serve the development will be required by Public Utilities prior to building permit or final subdivision approval.
<b>E. Provisions for the construction of any required public improvements, per Section 20.40.010, are included.</b>	<b>Complies</b>	This is a subdivision amendment that does not involve the construction of any additional public right-of-way.

<b>F. The subdivision otherwise complies with all applicable laws and regulations.</b>	<b>Complies</b>	There is no evidence that the subdivision does not comply with all other applicable laws and regulations.
<b>G. If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment.</b>	<b>Complies</b>	This proposed amendment does not alter any street or right-of-way. All of the proposed amendments to existing easements on the site involve moving them within the property boundaries and are not expected to have any negative material impact on adjacent property owners or the public.



## **ATTACHMENT H: Public Process and Comments**

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The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

### **Open House**

Open house held on February 18, 2016

### **Notice of the public hearing for the proposal included:**

Previous public hearing was scheduled for June 8, 2016, but the item was pulled from the agenda.

Public hearing notice mailed on June 30, 2016

Public hearing notice posted on June 30, 2016

Public notice posted on City and State websites and Planning Division list serve: June 30, 2016

### **Public Comments**

Few comments have been received regarding this proposal. Comments from the open house included:

- Compatibility issues with the rest of the neighborhood
- Lack of street engagement (front façade does not read as the front of the building)
- Plain design

Comments received for the most recent version of the townhomes can be found on the following page:

To Members of the Salt Lake Planning Commission  
From Cindy Cromer  
Re 49 & 51 S 800 E, Part 1  
July 5, 2016

The staff report will be available on Friday. I will have additional comments after that, including further analysis of the ordinance.

80 feet of frontage required (21A.24.120) 80 feet of frontage is an exceptional width in this neighborhood. Such a property would probably be one of the larger ones on a block. Why 80 feet? Even the RMF-75 requires 80 feet of frontage for multiple-family dwellings.

I talked to an architect and asked about getting 3 townhouses on the existing 67 foot wide lot. He said he could do it. Meanwhile I realized that I'm working on a townhouse which is 20 feet wide on 600 East. The plan is to convert a 19th century addition into a townhouse and the historic structure is 20 feet wide (shown on page 2). So, not hard to get a townhouse in 20 feet. Then I looked on the next block of 800 East: 2 historic townhouses at 143 and 147 S (65 feet frontage with 2 driveways) and 2 infill townhouses at 139 and 141 S (50 feet frontage with 1 driveway). So no problem to design 3 townhouses facing the street with 80 feet of frontage. No problem to design 2 townhouses facing the street with 67 feet of frontage. Can the architect get 3 townhouses in 67 feet? Stay tuned.

You have considered other projects recently where the issue of orientation to the street was relevant.

1. March 9, 2016 1964 S 900 E ("Ramona") report by Christopher Lee (denied) The staff report included a quote from the Sugar House Master Plan: "Typical characteristics of these "box car" four-plexes and apartments include sideyard entry, large ration of pavement to landscaped areas on the side-yard, a front building elevation devoid of windows, doors and architectural fenestration, flat roofs, concrete block construction and bulky size and mass. "Box car" four-plexes and apartments are not allowed under current zoning regulations" (p. 5).

2. April 13, 2016 323 & 325 S 700 E (The Townes) report by Casey Stewart (approved) The final proposal included 2 units facing 700 E with a detailed facade in a RMF-45 zone and 5 units facing the side yard.

The proposal at 49 & 51 S 800 E has come a long way since the presentation at the open house. It remains, however, a "boxcar" development in a low density multiple-family zoning district between 2 single family, one-story residences in a streetscape where it fails to acknowledge its relationship to any of the other structures.

The East Central Neighborhood Plan (1984) was the first articulation of compatible infill adopted as ordinance by the City. This plan and its Addendum (1990) call for compatible infill emphasizing "directional expression," sense of entry, and roof shapes (pp.86-87) which are lacking in this proposal.



49+51 S 800 E  
p. 2  
Cromer - comment



HIGHLIGHTED - 19<sup>TH</sup> CENTURY ADDITION ON REAR  
PROPOSED REMODEL - SEPARATE TOWNHOUSE

EAST ELEVATION (NO CHANGE)

SCALE: 1/8" = 1'-0"

2

## **ATTACHMENT I: Department Comments**

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**Public Utilities** (Jason Draper): The improvement plans will be reviewed by public utilities through the building permit process. Water meters must be in the park strip or behind sidewalk and accessible to public utilities. An easement through lot 1 and lot 2 will be required for sewer and water as shown on the plat.

Individual water meters and sewer laterals will be required unless a HOA maintenance agreement is provided and recorded with all lots that will maintain a shared sewer lateral and master water meter.

Detention is not required for residential sites less than 2 acres.

**Engineering** (Scott Weiler): email attachments emailed to applicant – redlines on preliminary plat

**Transportation** (Scott Vaterlaus): There should be a cross access agreement between the two properties, but otherwise the shared driveway is okay. No other issues.

**Zoning**: (Gregory Mikolash): A demolition permit will be required for the removal of the existing building. As part of the demolition application, the construction waste management provisions of 21A.36.250 apply. This proposal will need to be discussed with the building code personnel in Room #215. This proposal will need to comply with the provisions of 21A.24.010 and 21A.24.120 - the provisions of 21A.36 in regards to use of land and buildings, conformance with lot and bulk controls, environmental performance standards, a permanent recycling collection station, construction waste management plan, and any other appropriate sections within this chapter. This proposal will need to comply with any appropriate provisions of 21A.40 – the provisions of 21A.44 for parking and maneuvering - the provisions of 21A.48 for landscaping.

**Police**: No comments provided

**Sustainability**: The access road is privately owned and is a dead-end, which does not allow space for Sanitation equipment to turn around or maneuver. To receive city services, the cans would have to be placed on 800 East. A total of 9 cans will be required—3 per home

**Fire**: No comments provided



## **ATTACHMENT J: Motions**

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### **Potential Motions**

Based on the findings listed in the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards for a planned development and therefore recommends the Planning Commission approve the application with conditions.

#### **Consistent with Staff Recommendation:**

Based on the information in the staff report, public testimony, and discussion by the Planning Commission, I move that the Planning Commission approve petition PLNSUB2016-00041 and -00043, regarding the Tag Townhomes 800 E planned development, located at approximately 49 S and 51 S 800 E. In order to comply with the applicable standards, the following conditions of approval apply:

1. The applicant shall comply with all other Department/Division conditions attached to this staff report.
2. All other applicable zoning standards not modified by the Planned Development approval shall apply to the development.
3. Final approval authority for the development shall be delegated to Planning staff based on the applicant's compliance with the standards and conditions of approval as noted within this staff report.
4. Prior to issuance of any permit to begin construction of the building, the applicant shall consolidate the associated lots into one lot via the proper method as determined by the planning director.
5. The applicant shall obtain the required demolition permits for the existing buildings.

#### **Not Consistent with Staff Recommendation:**

Based on the testimony, plans presented and the following findings, I move that the Planning Commission deny the requested Tag Townhomes 800 E Planned Development PLNSUB2016-00041 and -00043.

(The Planning Commission shall make findings on the Planned Development and Preliminary Subdivision standards and specifically state which standard or standards are not being complied with. Please see Attachment G for applicable standards.)